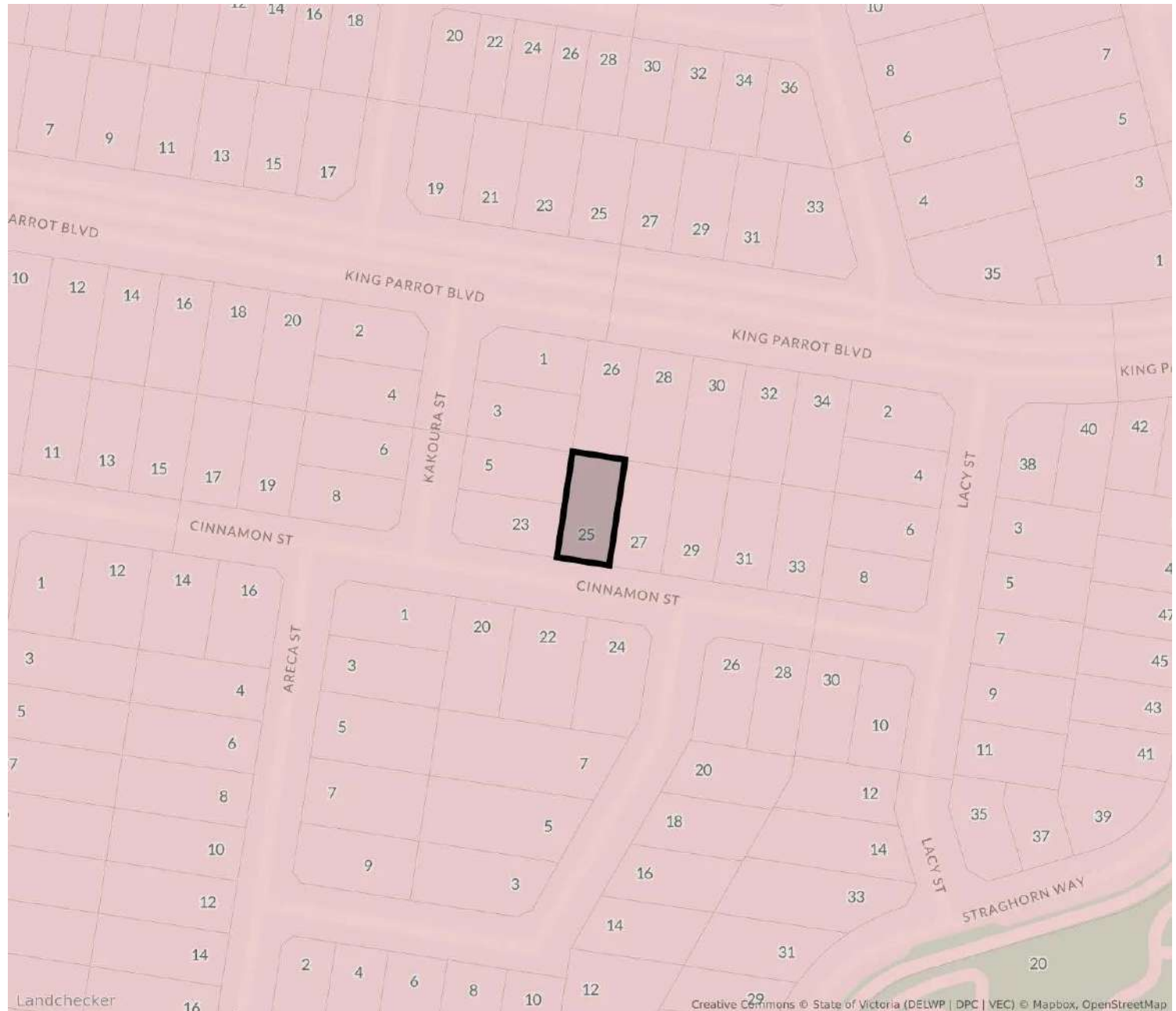


PROPOSED PLANNING SCHEME AMENDMENTS

25 Cinnamon Street, Drouin Vic 3818

No proposed planning scheme amendments for this property



UGZ2 - Urban Growth Zone - Schedule 2

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To manage the transition of non-urban land into urban land in accordance with a precinct structure plan.
- To provide for a range of uses and the development of land generally in accordance with a precinct structure plan.
- To contain urban use and development to areas identified for urban development in a precinct structure plan.
- To provide for the continued non-urban use of the land until urban development in accordance with a precinct structure plan occurs.
- To ensure that, before a precinct structure plan is applied, the use and development of land does not prejudice the future urban use and development of the land.

VPP 37.07 Urban Growth Zone

Plan 1 shows the future urban structure proposed in the Drouin Precinct Structure Plan. Plan 1 to Schedule 2 to Clause 37.07

LPP 37.07 Schedule 2 To Clause 37.07 Urban Growth Zone

For confirmation and detailed advice about this planning zone, please contact BAW BAW council on 03 5624 2411.



DCPO1 - Development Contributions Plan Overlay - Schedule 1

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To identify areas which require the preparation of a development contributions plan for the purpose of levying contributions for the provision of works, services and facilities before development can commence.

VPP 45.06 Development Contributions Plan Overlay

The Plan applies to all land within the boundaries of the 63 areas designated in Baw Baw Shire Development Contributions Plan from area 1a to area 48. The Plan provides for different amounts of levy to be payable in specified areas, which are shown on the Plans to this Schedule, and in the Baw Baw Shire Development Contributions Plan (December 2023).

LPP 45.06 Schedule 1 To Clause 45.06 Development Contributions Plan Overlay

For confirmation and detailed advice about this planning overlay, please contact BAW BAW council on 03 5624 2411.



DCPO3 - Development Contributions Plan Overlay - Schedule 3

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To identify areas which require the preparation of a development contributions plan for the purpose of levying contributions for the provision of works, services and facilities before development can commence.

[VPP 45.06 Development Contributions Plan Overlay](#)

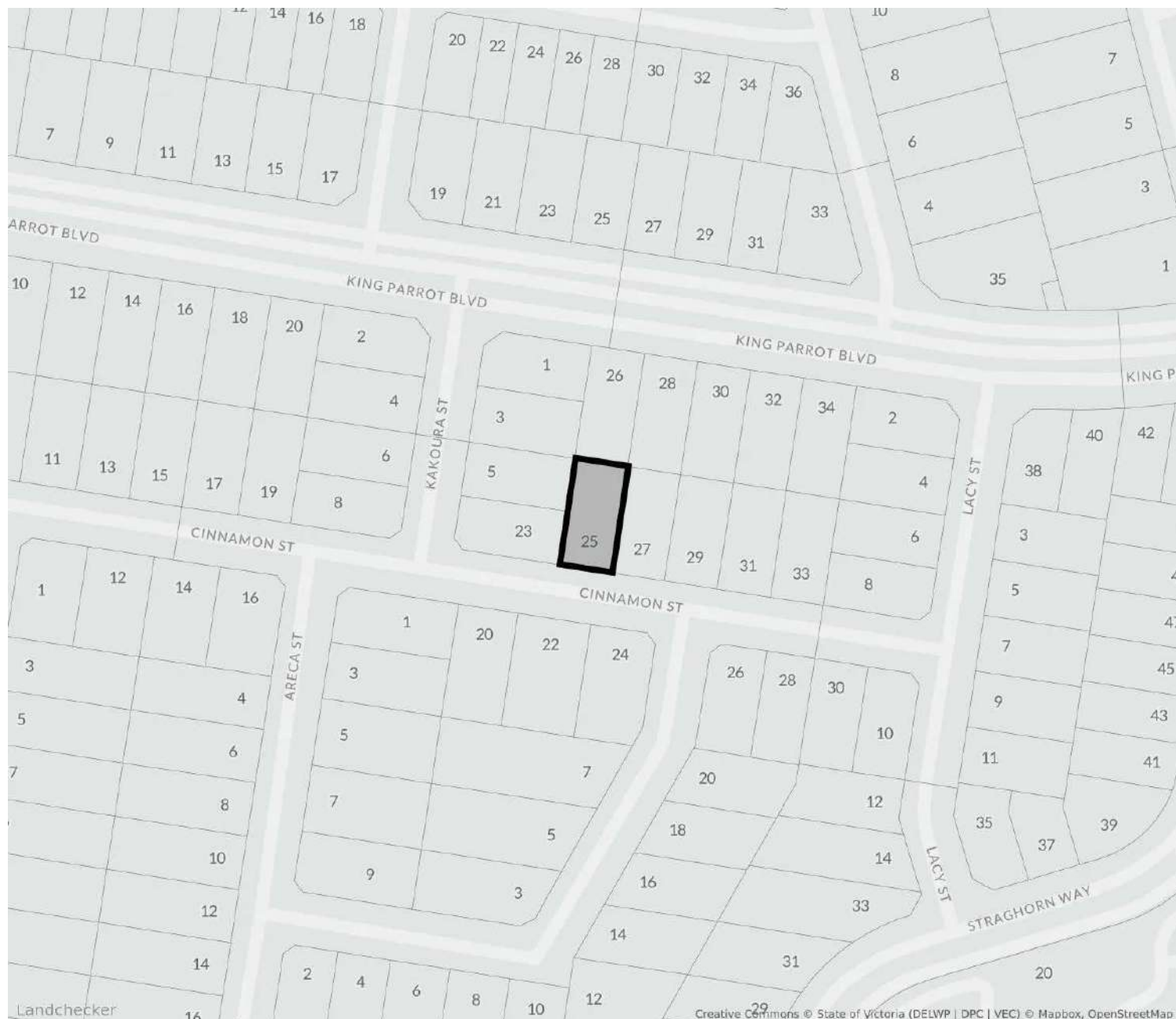
All land within the Drouin Development Contributions Plan area shown as DCPO3 on the planning scheme maps.

[LPP 45.06 Schedule 3 To Clause 45.06 Development Contributions Plan Overlay](#)

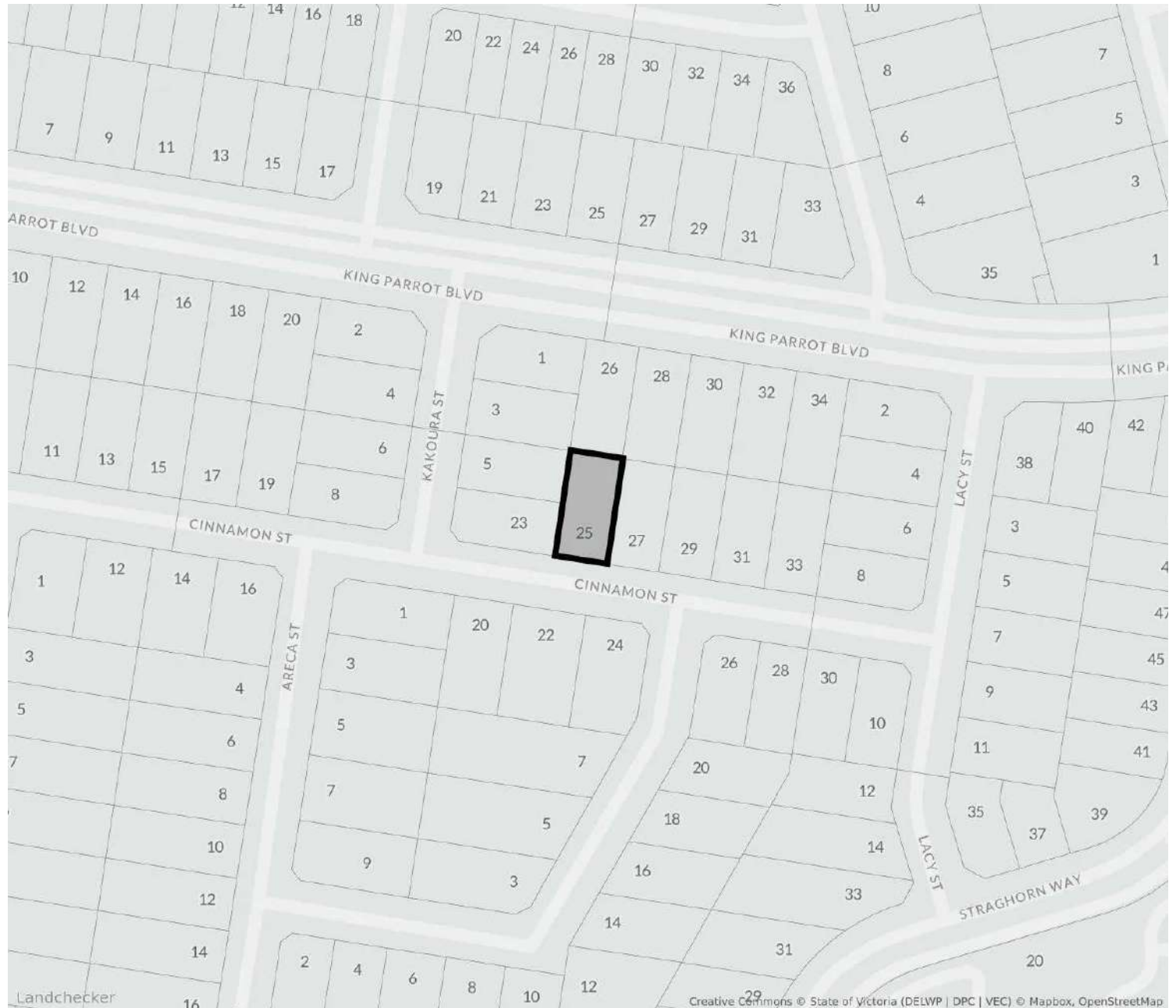
For confirmation and detailed advice about this planning overlay, please contact BAW BAW council on 03 5624 2411.

NEARBY OVERLAYS

25 Cinnamon Street, Drouin Vic 3818



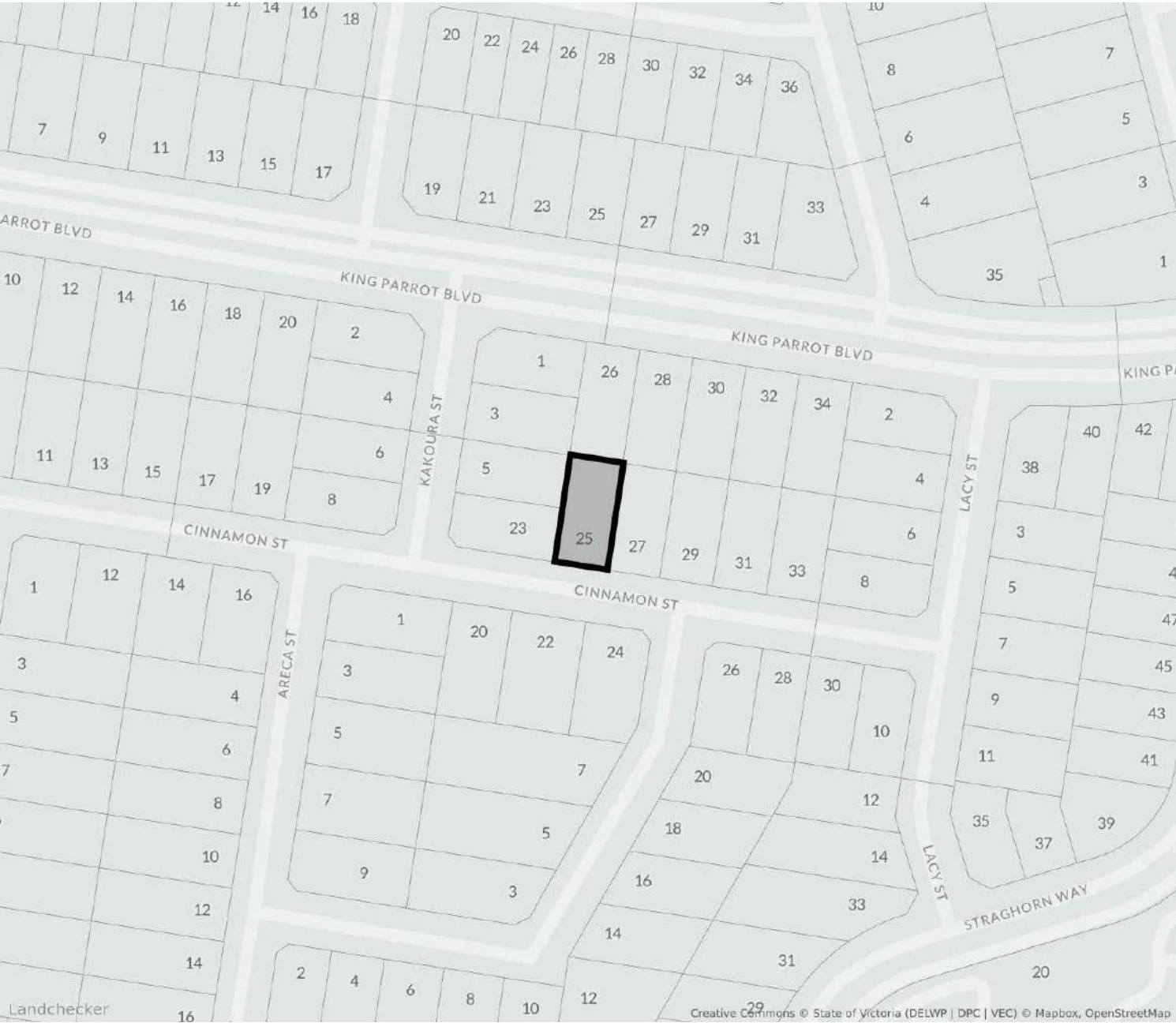
There are no overlays in the vicinity



Aboriginal Cultural Heritage Sensitivity

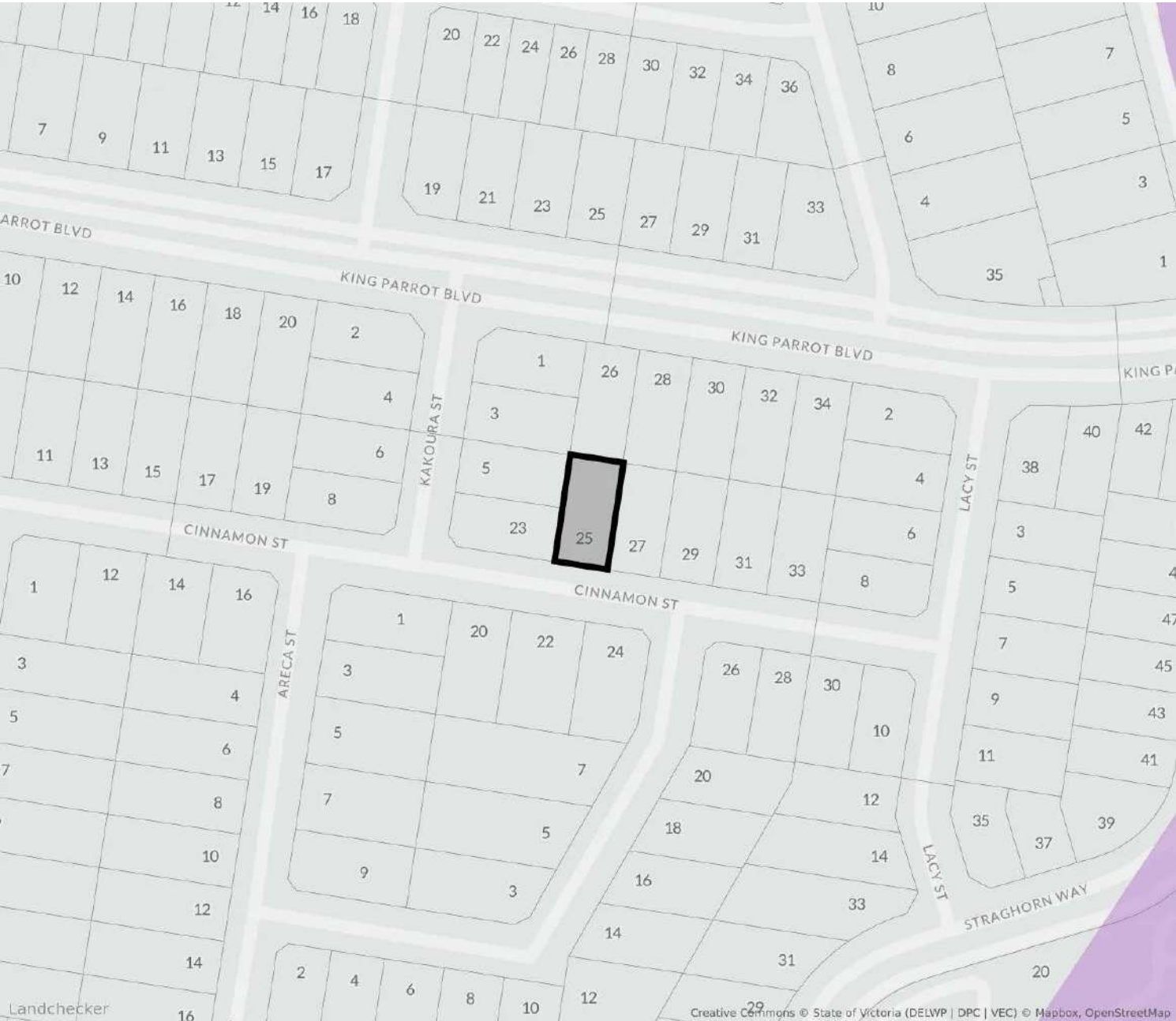
This property is not within, or in the vicinity of, one or more areas of cultural heritage sensitivity.

For confirmation and detailed advice about the cultural sensitivity of this property, please contact BAW BAW council on 03 5624 2411.



Source Authority	Status	Type	Last Updated
Department of Environment, Land, Water and Planning FO	Unaffected	State	23/02/2026
Department of Environment, Land, Water and Planning FO1	Unaffected	State	23/02/2026
Department of Environment, Land, Water and Planning FO2	Unaffected	State	23/02/2026
Department of Environment, Land, Water and Planning FO3	Unaffected	State	23/02/2026

Source Authority	Status	Type	Last Updated
Department of Environment, Land, Water and Planning LSIO	Unaffected	State	23/02/2026
Department of Environment, Land, Water and Planning LSIO1	Unaffected	State	23/02/2026
Department of Environment, Land, Water and Planning LSIO2	Unaffected	State	23/02/2026
Department of Environment, Land, Water and Planning LSIO3	Unaffected	State	23/02/2026
Department of Environment, Land, Water and Planning LSIO4	Unaffected	State	23/02/2026
Department of Environment, Land, Water and Planning RFO	Unaffected	State	23/02/2026
Department of Environment, Land, Water and Planning SBO	Unaffected	State	23/02/2026
Department of Environment, Land, Water and Planning SBO1	Unaffected	State	23/02/2026
Department of Environment, Land, Water and Planning SBO2	Unaffected	State	23/02/2026
Department of Environment, Land, Water and Planning SBO3	Unaffected	State	23/02/2026
Department of Environment, Land, Water and Planning UFZ	Unaffected	State	23/02/2026

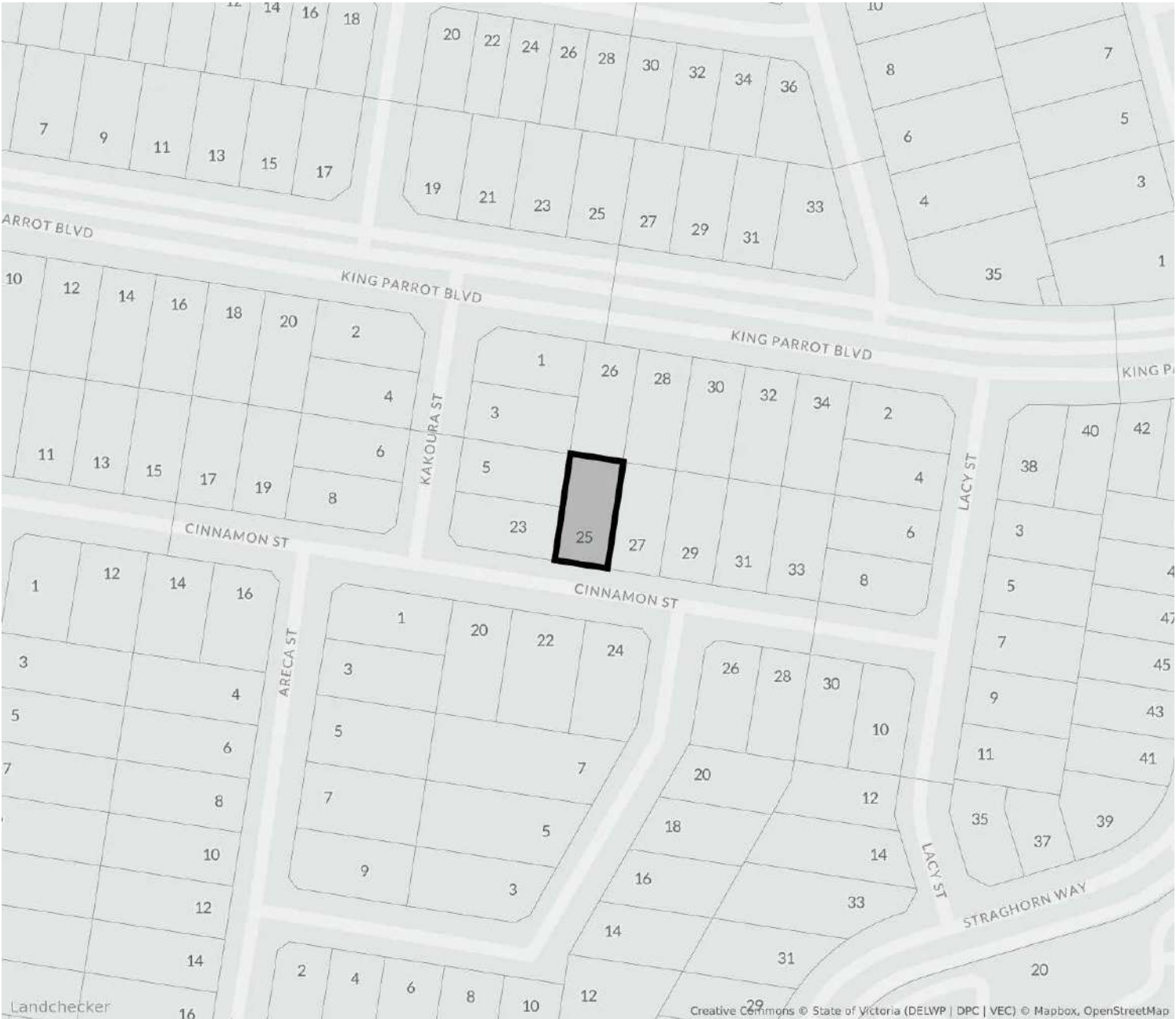


Bushfire Prone Area

This property is not within a zone classified as a bushfire prone area.
For confirmation and detailed advice about this bushfire prone area, please contact the relevant source authority.

Source Authority	Status	Type	Last Updated
Department of Environment, Land, Water and Planning BMO	Unaffected	State	09/03/2026
Department of Environment, Land, Water and Planning BMO1	Unaffected	State	09/03/2026
Department of Environment, Land, Water and Planning BMO2	Unaffected	State	09/03/2026
Department of Environment, Land, Water and Planning BMO3	Unaffected	State	09/03/2026
Department of Environment, Land, Water and Planning	Unaffected	State	09/03/2026

Source Authority	Status	Type	Last Updated
BPA			

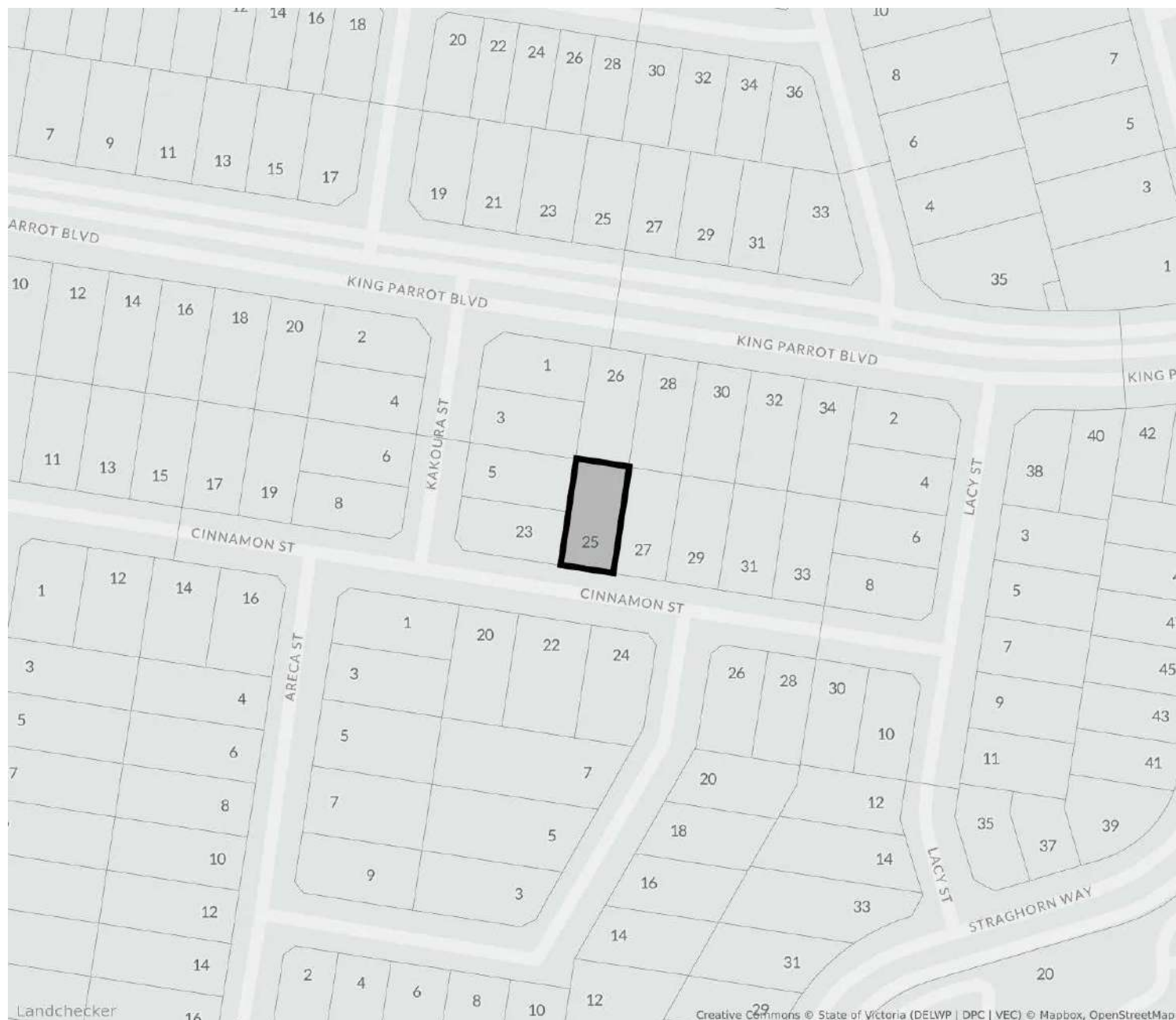


Landslide Prone Area

This property is not within a zone classified as a landslide prone area.
For confirmation and detailed advice about this landslide prone area, please contact the relevant source authority.

Source Authority	Status	Type	Last Updated
Department of Environment, Land, Water and Planning EMO	Unaffected	State	09/03/2026
Department of Environment, Land, Water and Planning EMO1	Unaffected	State	09/03/2026
Department of Environment, Land, Water and Planning EMO2	Unaffected	State	09/03/2026
Department of Environment, Land, Water and Planning EMO3	Unaffected	State	09/03/2026
Department of Environment, Land, Water and Planning	Unaffected	State	09/03/2026

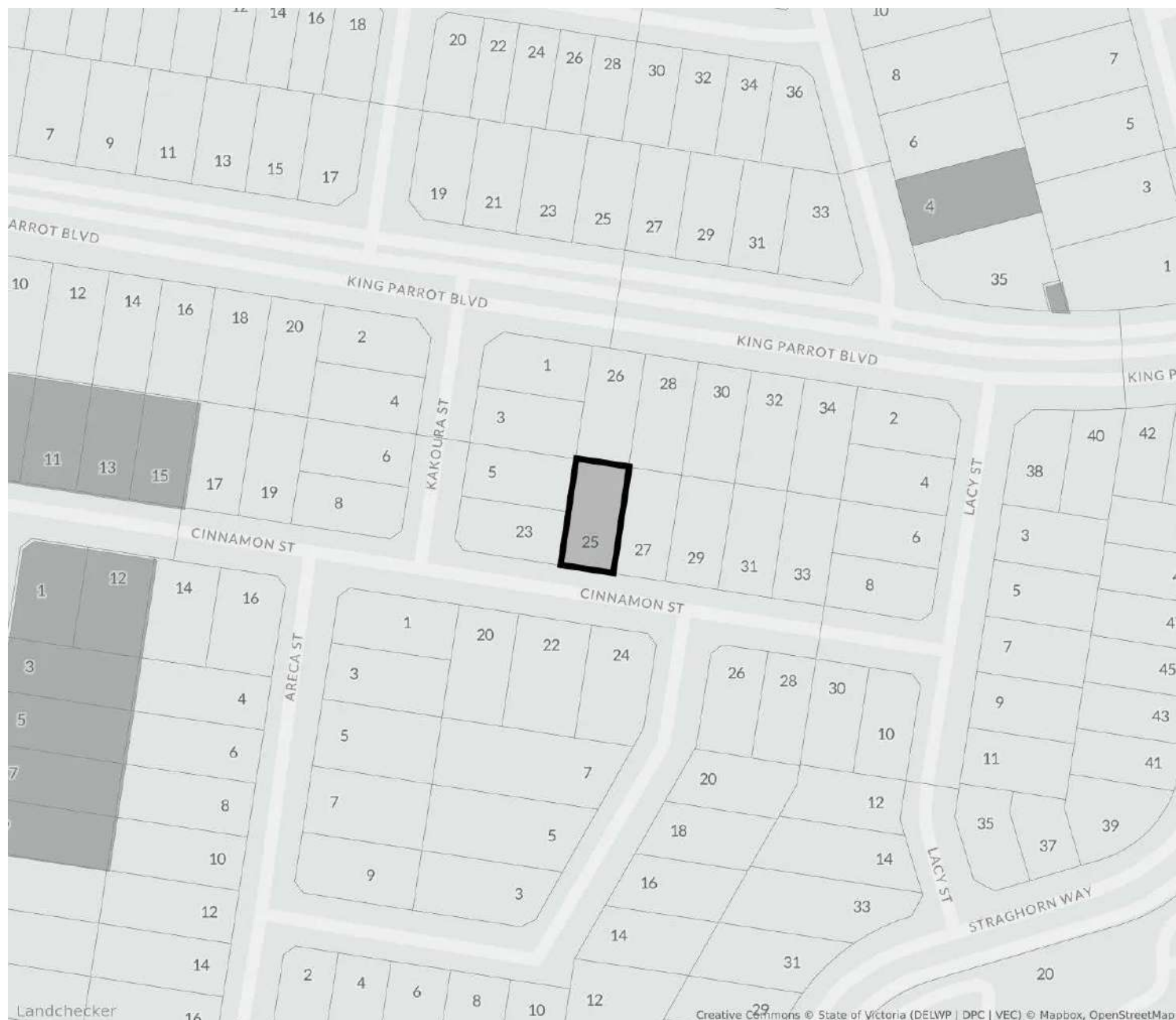
Source Authority	Status	Type	Last Updated
EMO4			
Department of Environment, Land, Water and Planning EMO5	Unaffected	State	09/03/2026
Department of Environment, Land, Water and Planning EMO6	Unaffected	State	09/03/2026
Department of Environment, Land, Water and Planning EMO7	Unaffected	State	09/03/2026



No planning permit data available for this property.

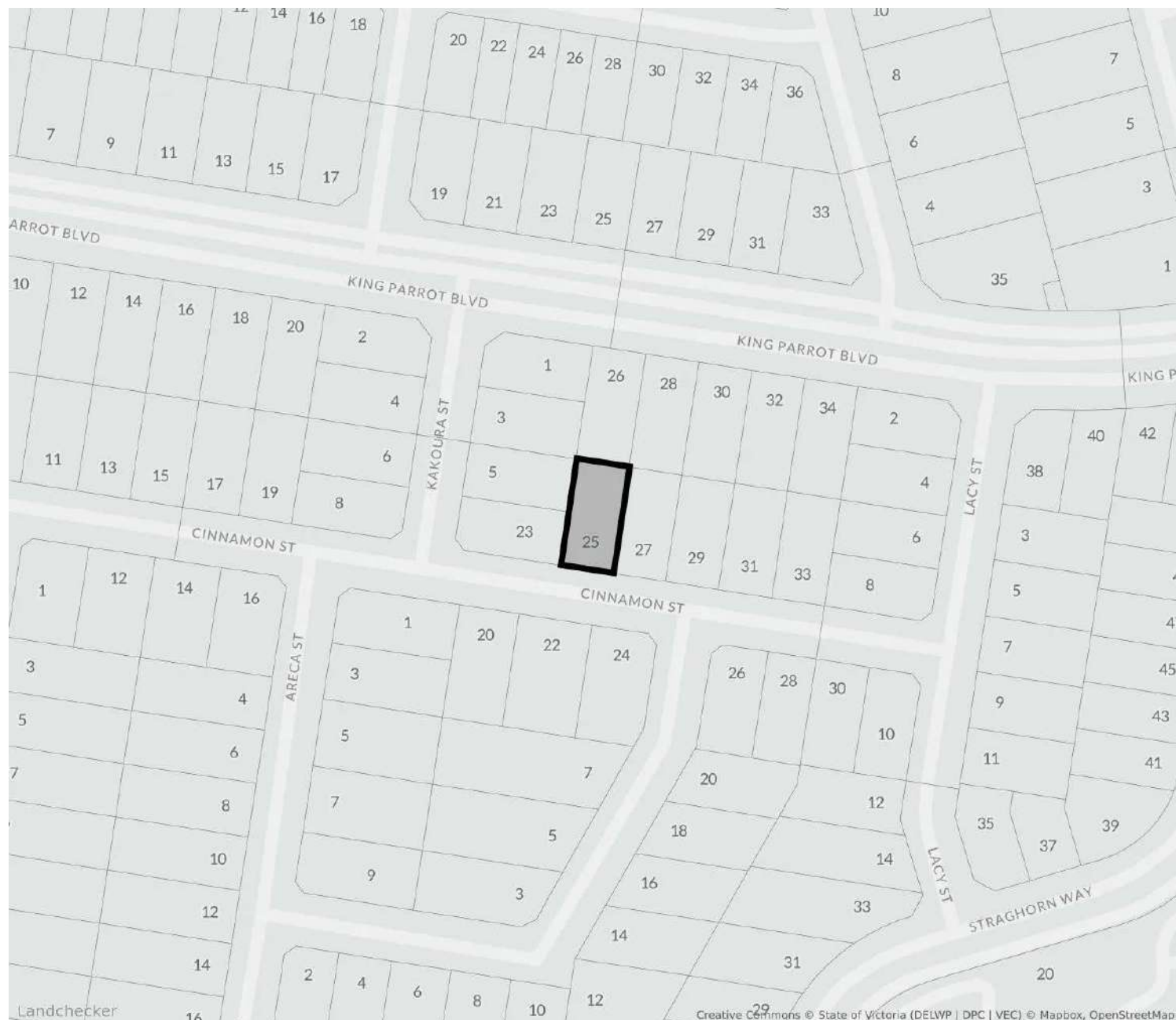
NEARBY PLANNING PERMITS

25 Cinnamon Street, Drouin Vic 3818



Status	Code	Date	Address	Description
OTHER	AMD0044/20	Received 05/08/2020	Weebar Road, Drouin Weebar Road, Drouin Weebar Road, Drouin 4 Evecta Street, Drouin	The use and development of land for a display village, reduction in car parking requirements, and development of business identification signs and a property sales sign.
OTHER	PLA0378/18	Received 14/12/2018	Weebar Road, Drouin Weebar Road, Drouin Weebar Road, Drouin Weebar Road, Drouin Weebar Road, Drouin Weebar Road, Drouin	Removal of native vegetation (9 trees).

For confirmation and detailed advice about this planning permits, please contact BAW BAW council on 03 5624 2411.



10 - 20m Contours

For confirmation and detailed advice about the elevation of the property, please contact BAW BAW council on 03 5624 2411.

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Building Surveyors & Consultants

Suite 3, 55-57 Wangara Road

Cheltenham Victoria 3192

T: 8585 3800 F: 8786 3866

www.buildingstrategies.com.au

BUILDING PERMIT

Building Act 1993

Building Regulations 2018:- Reg 37(1)

Form 2

Permit Number: BS-U 1441 4439963475644/0

Issued to: **Mathew Mepstead of Beachwood Homes P/L** Mobile: **0402 472 941**
ACN: **075832530**

PO Box 8528 CARRUM DOWNS VIC 3201 **danielle@beachwood.melbourne;tara@beachwood.melbourne;jayde@beachwood.melbourne;**

Ownership: **Ackim Nkole & Courtney Jade Mwamba of 14 Valley View Road LABERTOUCHE 3816**

Email: **ackimmwamba@gmail.com**

Property Details: **25 Cinnamon Street DROUIN**
Lot: 507 LP/PS: PS825100W Vol: 12205 Fol: 994

Municipality: **Baw Baw Shire Council**

Builder: **Mathew Mepstead of Beachwood Homes P/L** **0402 472 9419770 8806**
ACN: **075832530**

PO Box 8528 CARRUM DOWNS VIC 3201 **danielle@beachwood.melbourne;tara@beachwood.melbourne;**

Natural Person: **Mathew Mepstead** **0402 472 941**
PO Box 8528 CARRUM DOWNS VIC 3201 **danielle@beachwood.melbourne;**
tara@beachwood.melbourne;

Practitioners engaged in the building works:

Practitioner	Reg Number	Category/Class
Mathew Mepstead of Beachwood Homes P/L	CDB-U 51671	Builder

Practitioners engaged to prepare documents forming part of the application for this permit:

Practitioner	Reg Number	Category/Class
Mathew Mepstead	CDB-U 51671	Builder
Gervase Purich	EC-46702	Structural Engineer

Details of domestic building work insurance

Name of Builder:	Beachwood Homes P/L
Name of issuer or provider:	Bovill Risk & Insurance Consultants Pty Ltd
Policy Number:	C577745
Policy cover:	\$299,640

Nature of Building Work: **Construction of a single storey dwelling and garage**

Storeys contained:	1
Rise in storeys (for Class 2-9 building only):	0
Effective height:	5.8m
Type of construction:	NA
Version of BCA applicable to permit:	NCC 2019 Volume 2
Stage of building work permitted:	
Cost of building work:	\$299,640

BUILDING PERMIT**Building Act 1993****Building Regulations 2018:- Reg 37(1)****Form 2****Permit Number: BS-U 1441 4439963475644/0**Total floor area of new building work in m2: **275m2****Building Classification****Part of Building****Dwelling****Garage****BCA Classification****1a(a)****10a****Prescribed Reporting Authorities**

The following bodies are prescribed reporting authorities for the purposes of the application for this permit in relation to the matters set out below:

Reporting Authority

Council

Matter reported on or consented to

Point of discharge stormwater

Regulation number

Reg 133(2)

Protection workProtection work **is not** required in relation to the building work proposed in this permit.**INSPECTION REQUIREMENTS****The mandatory notification stages are:**

- **Pre Slab**
- **Concrete Slab Reinforcement**
- **Framework**
- **Final completion of works**

For mandatory inspection bookings please call 8770 9900 or email inspections@buildingstrategies.com.au prior to 4.00pm weekdays for the following weekday inspection

OCCUPATION OR USE OF BUILDING

An **Occupancy Permit** inspection is required prior to the occupation or use of this building.

If an Occupancy Permit is required, the permit is required for the **whole** of the building in respect of which the building work is carried out.

Commencement and completion**Building Works must commence by: 04/02/2022**

If the building work to which this building permit applies is not commenced by this date, this building permit will lapse unless an extension is applied for and granted by the relevant building surveyor before this date under Regulation 59 of the Building Regulations 2018.

This building work must be completed by: 04/02/2023

If the building work to which this building permit applies is not completed by this date this building permit will lapse, unless an extension is applied for and granted by the relevant building surveyor before this date under Regulation 59 of the Building Regulations 2018.

PERMIT CONDITIONS

This permit is subject to the following conditions

- This building permit is not evidence that the design complies with any restrictive covenant or other encumbrance burdening the subject land. It is the owner(s) responsibility to ensure compliance with any encumbrance. The owner may be subject to enforcement proceedings by a Council or legal proceedings from other beneficiaries if they do not comply with any relevant encumbrance.
- The person in charge of carrying out of the building work must ensure the building work does not encroach over the title boundaries of the subject allotment.
- The person that is named as the builder in the building permit issued for the building work must notify the relevant building surveyor without delay after the completion of each mandatory notification stage of that work.
- The builder named in the building permit issued for the building work must ensure the registration numbers and contact details of the builder and building surveyor and the building permit number and the date of issue are displayed on the allotment in a conspicuous position prior to the commencement of building work and for the duration of the building work.
- The builder named in the building permit must ensure that a copy of the building permit and one set of the approved plans, specifications and documents relating to that permit are available for inspection of the allotment concerned while the building work is in progress.
- If a planning permit has been issued for the subject building work, all relevant planning permit conditions must be complied with.
- Building work as detailed on the endorsed building permit plans and associated documentation must not be altered in any way without prior approval from the relevant building surveyor.
- All building work shall be carried out in accordance with the Building Act 1993 and Building Regulations 2018.
- It is the Owners responsibility, or Agent of Owner, to ensure compliance with any Local Council By-Laws and or regulations.
- **Where a specific finished floor level (FFL) is required by a statutory authority or title encumbrance then it is the responsibility of the builder to ensure compliance prior to construction of (eg. Prior to pouring concrete). A licenced land surveyor is required to be engaged to verify specific finish floor levels.**
- Where plumbing work which requires the issue of a compliance certificate is carried out in conjunction with the building work included in the permit, a copy of that certificate must be supplied to the relevant building surveyor prior to the issue of any Occupancy Permit or Certificate of Final Inspection. Rainwater tanks and solar hot water systems where required must be installed in accordance with the Plumbing Regulations including a 50m2 catchment area for tanks.
- It is the responsibility of the owner and builder to ensure that where trees are removed from within the zone of influence, the ground is moisturised prior to any building works commencing or the tree roots are to be isolated from the proposed building works.
- The owner and builder must consult with the relevant sewerage authority and local council to ensure that the proposed works do not affect any drains or sewers and that the works comply with the requirements of these authorities.
- It is the responsibility of the owner and builder of this project to ensure that all buildings or part thereof are constructed within any legal allotment title boundaries. (If doubt exists verification from a licensed land surveyor is recommended prior to commencement of any building works.)
- Any variation to the approved building permit documentation must be submitted to this office for approval prior to the construction of the variation being carried out.
- All practicable precaution shall be taken to avoid any damage to adjoining allotments or hazardous/dangerous conditions to the general public
- During construction temporary downpipes or channelling of the ground to avoid water damage to the adjoining allotments shall be undertaken when necessary.
- No building or building works to be erected or carried out or equipment is to be used on, over, under, or in the air space of the adjoining allotment.
- The substitution of the specified fire-rated products, systems and materials is not permitted

- Builder to verify that the dwelling has been constructed in accordance with 6 star energy provisions and/or part 3.12 of the NCC (as applicable)
- Truss Computations and Layout Plan must be submitted to this office for approval prior to installation. A copy of the approved/endorsed Truss Computations and Layout Plan must be available for inspection purposes.
- The building(s) are to be protected from Termites in accordance with AS3660.1 2000. If there is any doubt regarding methods required to achieve compliance the relevant building surveyor must be consulted. It is the owners responsibility to carry out regular inspections of the building for evidence of termite activity.

Jason Daniels

3/55-57 Wangara Road, Cheltenham
permits@buildingstrategies.com.au

Registration Number: **BS-U 1441**Council Name: **Baw Baw Shire Council**Permit Number: **4439963475644/0**Date Permit Issued: **04/02/2021**

Signature:





Building Surveyors & Consultants

Suite 3, 55-57 Wangara Road

Cheltenham Victoria 3192

T: 8585 3800 F: 8786 3866

www.buildingstrategies.com.au

FORM 16

Regulation 192

Building Act 1993

Building Regulations 2018

OCCUPANCY PERMIT

Property Details	
Lot:	507
Street Number:	25
Street Name:	Cinnamon Street
Suburb:	DROUIN
Postcode:	3818
LP/PS:	PS825100W
Volume:	12205
Folio:	994
Municipal District:	Baw Baw Shire Council

Building Permit details	
Building Permit number:	4439963475644/0
Version of BCA applicable to building permit:	NCC 2019 Volume 2

Building details		
Part of Building	Permitted use	BCA Classification
Dwelling	Domestic	1a(a)
Garage	Domestic	10a

Nature of Building Work
Construction of a single storey dwelling and garage

Prescribed Reporting Authorities		
The following bodies are prescribed reporting authorities for the purposes of the application for this permit in relation to the matters set out below:		
Reporting Authority	Matter reported on or consented to	Regulation number
Council	Point of discharge stormwater	Reg 133(2)

CONDITIONS TO WHICH THIS PERMIT IS SUBJECT:	
Description	Requirements:
Service Connections:	This Occupancy Permit is issued subject to the power, gas and water supplies being connected (as applicable).
Maintenance:	- The owner(s) of the building(s) is responsible for the maintenance of the buildings foundations. Attention is drawn to the CSIRO Building Technology File 18 named '<i>Foundation maintenance and Footing Performance: A home Owners Guide</i>'. - The owner(s) of the building(s) is responsible for maintaining the buildings construction requirement and vegetation to satisfy the Bushfire Attack Level (BAL) of the building permit in accordance with AS3959-2009 – '<i>Construction of buildings in bushfire areas</i>' and in a state which enables them to fulfill their purpose. - The owner(s) of the building(s) is responsible for maintaining the buildings termite barrier(s) in accordance with AS3660.1-2000. (if applicable) - The owner(s) of the building(s) is responsible for maintaining the buildings smoke detectors in a state which will enable them to fulfill their purpose. It is the responsibility of the owner and builder of this project to ensure that all buildings or part thereof are constructed within any legal allotment title boundaries. (If doubt exists verification from a licensed land surveyor is recommended prior to commencement of any building works.)
Landscaping:	- All landscaping to ensure the slab's vapour barrier is maintained at the external side of the edge beams. The vapour barrier must extend above the height of any adjacent ground level. - All landscaping must maintain a clearance below the building's damp proof course (i.e. base of weep holes) of 150mm above the adjacent finished ground level; 75mm above the finished paved, concreted or landscape areas that slope away from the building; or 50mm above finished paved, concrete or landscaped areas that slope away from the wall and protected from the direct effect of weather by a carport, verandah or the like

Suitability for occupation

At the date this occupancy permit is issued, the building to which this permit applies is suitable for occupation.

Relevant Building Surveyor:	
Name:	Jason Daniels
Building Practitioner Registration Number:	BS-U 1441
Address:	3/55-57 Wangara Road, Cheltenham Vic 3192
Council Name:	Baw Baw Shire Council
Occupancy Permit Number:	4439963475644/0
Date Permit Issued:	07 July 2021
Date of final inspection:	06 July 2021

Signature:



Domestic Building Insurance

Certificate of Insurance

Ackim Nkole Mwamba, Courtney Jade Mwamba**14 Valley View Rd
LABERTOUCHE
VIC 3816**

Policy Number:

C577745

Policy Inception Date:

03/02/2021

Builder Account Number:

003732

A contract of insurance complying with the Ministerial Order for Domestic Building Insurance issued under Section 135 of the Building Act 1993 (Vic) (Domestic Building Insurance) has been issued by the insurer Victorian Managed Insurance Authority a Statutory Corporation established under the Victorian Managed Insurance Authority Act 1996 (Vic), in respect of the domestic building work described below.

Policy Schedule Details

Domestic Building Work: **C01: New Single Dwelling Construction**At the property: **25 Cinnamon St DROUIN VIC 3818 Australia**Carried out by the builder: **BEACHWOOD HOMES PTY. LTD.**Builder ACN: **075832530**

! If the builder's name and/or its ABN/ACN listed above does not exactly match with the information on the domestic building contract, please contact the VMIA. If these details are incorrect, the domestic building work will not be covered.

For the building owner(s): **Ackim Nkole Mwamba, Courtney Jade Mwamba**Pursuant to a domestic building contract dated: **30/11/2020**For the contract price of: **\$ 299,640.00**Type of Cover: **Cover is only provided if BEACHWOOD HOMES PTY. LTD. has died, becomes insolvent or has disappeared or fails to comply with a Tribunal or Court Order ***The maximum policy limit for claims made under this policy is: **\$300,000 all inclusive of costs and expenses ***The maximum policy limit for non-completion claims made under this policy is: **20% of the contract price limited to the maximum policy limit for all claims under the policy***

PLEASE CHECK

If the information on this certificate does not match what's on your domestic building contract, please contact the VMIA immediately on 1300 363 424 or email dbi@vmia.vic.gov.au

IMPORTANT

This certificate must be read in conjunction with the policy terms and conditions and kept in a safe place. These documents are very important and must be retained by you and any successive owners of the property for the duration of the period of cover.

* The cover and policy limits described in this certificate are only a summary of the cover and limits and must be read in conjunction with, and are subject to the terms, conditions, limitations and exclusions contained in the policy terms and conditions.

Period of Cover

Cover commences on the earlier of the date of the domestic building contract or date of building permit for the domestic building work and concludes:

- Two years from completion of the domestic building work or termination of the domestic building contract for non structural defects*
- Six years from completion of the domestic building work or termination of the domestic building contract for structural defects*

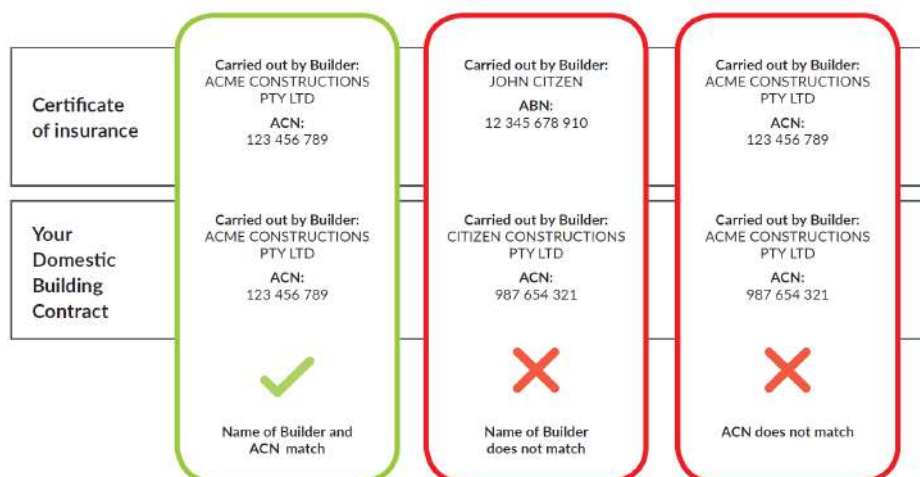
Subject to the Building Act 1993, and the Ministerial Order and the conditions of the insurance contract, cover will be provided to the building owner named in the domestic building contract and to the successors in title to the building owner in relation to the domestic building work undertaken by the Builder.

Issued by Victorian Management Insurance Authority (VMIA)

Domestic Building Insurance Premium and Statutory Costs

Base DBI Premium:	\$1,450.00
GST:	\$145.00
Stamp Duty:	\$159.50
Total:	\$1,754.50

If the information on the certificate does not match exactly what is on your domestic building contract, please contact VMIA on 1300 363 424
Below are some example of what to look for



- DRAINAGE NOTES:**
- SITE DRAINAGE SHALL COMPLY WITH NCC 3.12 'DRAINAGE' & A.S. 3500 'NATIONAL PLUMBING & DRAINAGE CODE'.
 - BASE OF CUT GRADED TO SILT TRAP AT 1:100MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
 - TEMPORARY DOWNPIPES CONNECTED TO THE STORMWATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
 - DURING CONSTRUCTION, WATER RUN OFF SHALL BE COLLECTED AND CHanneled AWAY FROM THE BUILDING.
 - STORMWATER DRAINS ARE INDICATIVE ONLY. CONTRACT DRAINER IS TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION.
- ALL LANDSCAPING BY OWNERS. BUILDER TO PROVIDE SILL RISER PROVISION AT NOMINATED LOCATIONS FOR FITTING/CONNECTION OF GRATED INLET PITS BY OWNERS, BEING INCORPORATED AS PART OF THE LANDSCAPE DESIGN.
- GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).
- GRATED INLET PIT / SILT TRAP CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.
- CUT TOE, SPOON DRAIN, AGRICULTURAL DRAIN OR SIMILAR AT BASE OF CUT GRADED TO SILT TRAP AT 1:100 MIN. FALL. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
- AGGI DRAINS AT BASE OF CUT OVER 300mm, AGGI DRAINS TO BE CONNECTED BACK TO LPOD VIA STORMWATER SYSTEM
- GRATED DRAIN TO FRONT OF GARAGE DOOR TO BE CONNECTED BACK TO LPOD VIA STORMWATER SYSTEM

VARIATION

VARIATION No. - **BV 1.0**
DRAFTSPERSON - **TL**
DATE - **02.02.2021**

DRIVEWAY BY CLIENT AFTER HANDOVER

NOTES - RESCODE CLAUSE 54.

ALL LEVELS ARE TO A.H.D U.N.O.
SITE DIMENSIONS TO BE VERIFIED BY TITLE
FLOOR LEVELS ARE DETERMINED BY ASSUMED LEVELS ADJACENT TO RESIDENCE AND MAY BE ADJUSTED ON SITE BY BUILDER AT BUILDER'S DISCRETION.
-FSL MIN 150mm ABOVE FSL FOR SLABS.
-FLOOR LEVEL MIN 225mm ABOVE FSL OR PAVING ADJACENT TO O.R.G. (OVER FLOW RELIEF GRATE).
-FSL MIN 400mm (NOMINAL) ABOVE FSL FOR STUMPS
-SHEET FLOORING: MIN 200mm CLEAR UNDER BEARER
-STRIP FLOORING: MIN 150mm CLEAR UNDER BEARER
-TERMITE AREAS: MIN 400mm CLEAR UNDER BEARER UNLESS METHOD OF PROTECTION OR RELEVANT STANDARDS RECOMMEND OTHERWISE
-A MAXIMUM OF 600mm OF GRANULAR OR 300mm OF CLAY/SILT FILLING INCLUDING ANY EXISTING FILLING MAY BE PLACED UNDER SLAB PANELS.
-REFER TO APPENDIX OF SOIL REPORT FOR CONSTRUCTION AND MAINTENANCE REQUIREMENTS
-ALL LEVELS ARE FINISHED SURFACE LEVELS U.N.O.
-MAX 200mm FILL AT EXTERNAL DOORS
-GRADE FSL AWAY FROM RESIDENCE

A5. SITE COVERAGE STATISTICS

SITE AREA	512.0 m ²	HARD PAVING	0.0 m ²
BUILDING AREA	275.4 m ²	TOTAL HARD COVER	275.4 m ²
SITE COVERAGE	53.8 %	PERMEABLE AREA	46.21 %

* NOTE: 20 % TO BE PERMEABLE ie NOT COVERED

RETAINING WALLS & EXCAVATIONS

DESIGN SURCHARGE OF 5 kpa TO BE INCLUDED

BRICK, CONCRETE OR OTHER,
SLEEPER OR SIM. RETAINING WALL

RETAINING WALLS TO BE CONSTRUCTED IMMEDIATELY AFTER EXCAVATION. ALLOW 5Kpa SURCHARGE ON BOUNDARY U.N.O. RETAINING WALLS TO BE CONSTRUCTED & PROTECTION NOTICE SERVED IN ACCORDANCE WITH BUILDING CONTROL ACT 1993. OWNER/CONTRACTOR IS TO PROVIDE INSURANCE, SURVEY OF EXISTING CONDITIONS & NEIGHBOUR'S CONSENT FOR CONSTRUCTION IN ACCORDANCE WITH ACT.
BATTERS ARE AT 45° & THATCHED OR LANDSCAPED U.N.O. CUT OFF DRAINS AT BASE OF EXCAVATION TO CONNECT TO STORM WATER DRAINS VIA SILT PIT WITH GRATED COVER BY OWNER OR CONTRACT VARIATION

BATTERS ARE GRADED AT 45° CLAY 30° SAND.
BATTERS ARE TO BE THATCHED WITH ROCK, MESH, MULCH OR AS DESIRED, BY OTHERS.
EXTENT OF EXCAVATION
ALL SITE WORKS ARE TO BE PROVIDED BY OWNER OR BY CONTRACT VARIATION

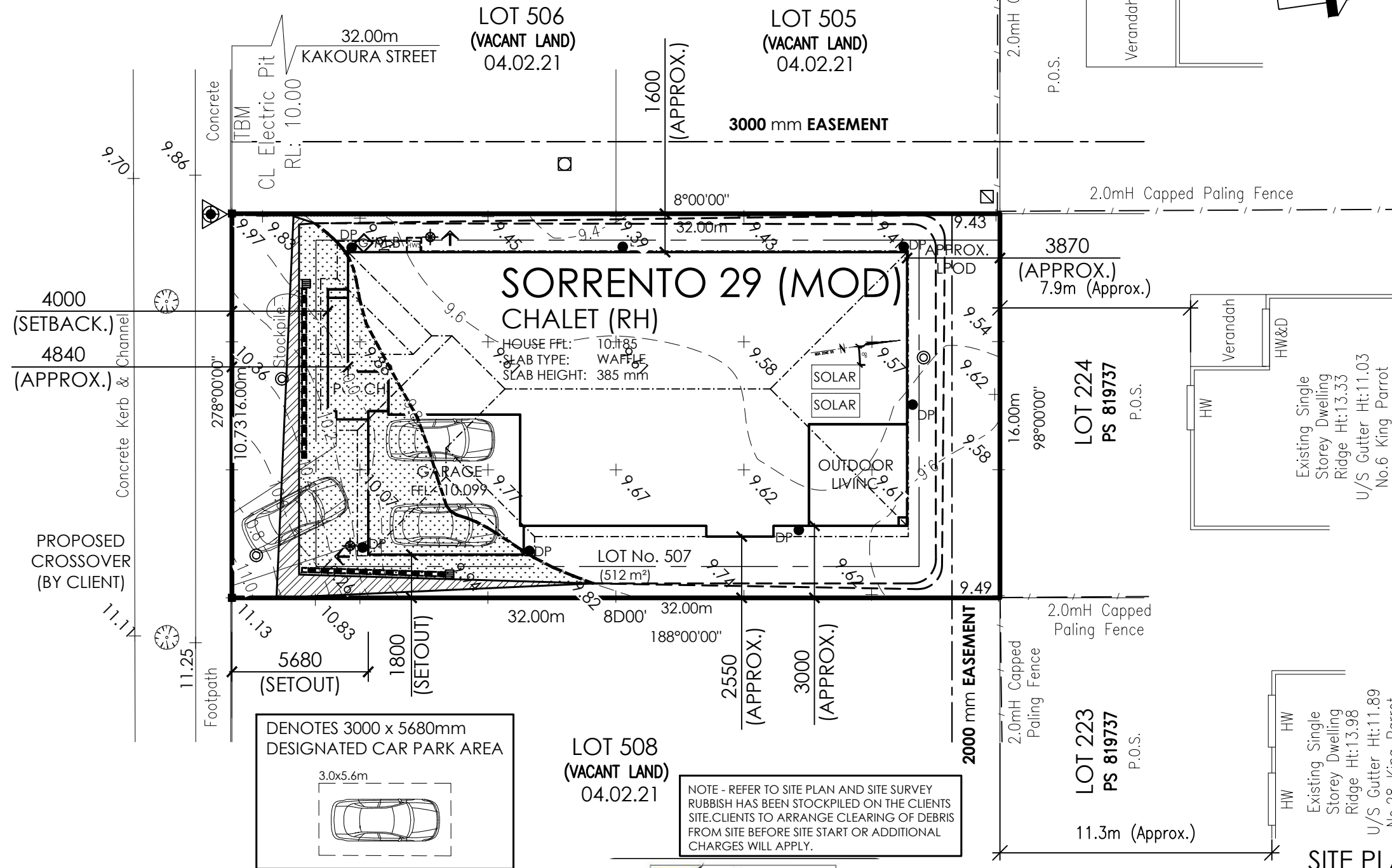
TBM TEMPORARY BENCH MARK

A TREE TO BE REMOVED
B TREE TO BE RETAINED

TREE ROOT PROTECTION, WHERE REQUIRED, SHALL BE IN ACCORDANCE WITH TN61, AND CONSTRUCTED IN ACCORDANCE WITH ENGINEER'S DESIGN. TO BE PROVIDED BY OWNER OR CONTRACT VARIATION

ADVISORY NOTE: DRIVEWAY GRADES
OWNERS/CLIENTS ARE ADVISED THAT DRIVEWAY GRADIENTS WITHIN THE PROPERTY SHOULD BE AT 1 in 5 MAXIMUM AND THAT TRANSITIONS MAY BE REQUIRED AT CHANGE OF GRADES. REFER TO A.S.2890 FOR DESIGN REQUIREMENTS. IF SITE CONDITIONS REQUIRE A STEEPER GRADE THAN 1 in 5 THE OWNERS ACKNOWLEDGE BY SIGNING THIS DRAWING THAT VEHICLE ACCESS MAY BE COMPROMISED.

CINNAMON STREET



Beachwood
HOMES

Evolve
COLLECTION



BUILDING PERMIT

Jason Daniels BS-U 1441

4439963475644/0 04 Feb 2021

TERMITE PROTECTION
REQUIRED

PROPOSED RESIDENCE

A. & C. MWAMBA

LOT 507 CINNAMON STREET

DROUIN

SIZE:	TITLE:	REF:	ISSUE:
A3	SORRENTO 29 (MOD)	10694	H
THIS IS SHEET 2 OF 15 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE:	02.02.2021
SIGNED OWNER:		DRAWN:	TT
BUILDER:		CHECKED:	TH
		SCALE:	1:200

FILE NAME: 10694-FINALS#H

MASTER DATE: 27.08.2020

DRAINAGE NOTES:

1. SITE DRAINAGE SHALL COMPLY WITH NCC 3.12 'DRAINAGE' & A.S. 3500 'NATIONAL PLUMBING & DRAINAGE CODE'.

2. BASE OF CUT GRADED TO SILT TRAP AT 1:100MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.

3. TEMPORARY DOWNPIPES CONNECTED TO THE STORMWATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.

4. DURING CONSTRUCTION, WATER RUN OFF SHALL BE COLLECTED AND CHanneled AWAY FROM THE BUILDING.

5. STORMWATER DRAINS ARE INDICATIVE ONLY. CONTRACT DRAINER IS TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION.



ALL LANDSCAPING BY OWNERS. BUILDER TO PROVIDE SILL RISER PROVISION AT NOMINATED LOCATIONS FOR FITTING/CONNECTION OF GRATED INLET PITS BY OWNERS, BEING INCORPORATED AS PART OF THE LANDSCAPE DESIGN.



GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).



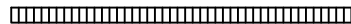
GRATED INLET PIT / SILT TRAP CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.



CUT TOE, SPOON DRAIN, AGRICULTURAL DRAIN OR SIMILAR AT BASE OF CUT GRADED TO SILT TRAP AT 1:100 MIN. FALL. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.



AGGI DRAINS AT BASE OF CUT OVER 300mm, AGGI DRAINS TO BE CONNECTED BACK TO LPOD VIA STORMWATER SYSTEM



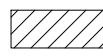
GRATED DRAIN TO FRONT OF GARAGE DOOR TO BE CONNECTED BACK TO LPOD VIA STORMWATER SYSTEM

VARIATION

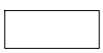
VARIATION No. - **BV 1.0**

DRAFTSPERSON - **TL**

DATE - **02.02.2021**

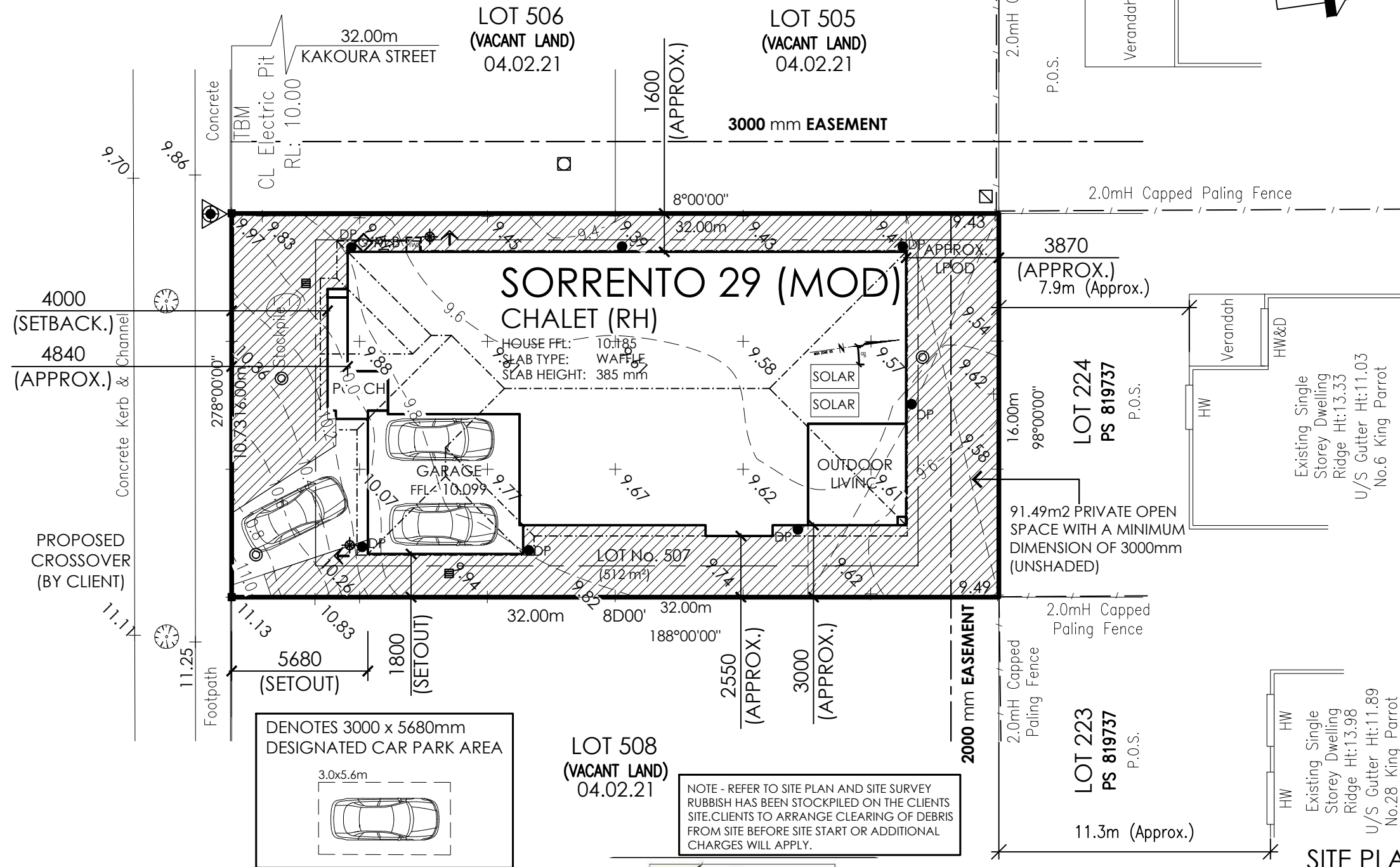


GARDEN AREA = 212.4m² (44.5%)



DRIVEWAY BY CLIENT AFTER HANDOVER

CINNAMON STREET



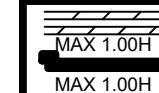
NOTES - RESCODE CLAUSE 54.

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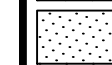
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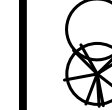
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TEMPORARY BENCH MARK



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Beachwood
HOMES

Evolve
COLLECTION



BUILDING PERMIT

Jason Daniels BS-U 1441

4439963475644/0 04 Feb 2021

TERMITE PROTECTION
REQUIRED

PROPOSED RESIDENCE
A. & C. MWAMBA
LOT 507 CINNAMON STREET
DROUIN

SIZE:	TITLE:	REF:	ISSUE:
A3	SORRENTO 29 (MOD)	10694	H
THIS IS SHEET 3 OF 15 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE:	02.02.2021
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BUILDER:		CHECKED:	TH
		SCALE:	1:200

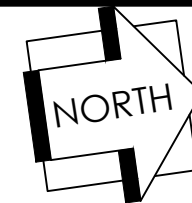
FILE NAME: 10694-FINALS#H

MASTER DATE: 27.08.2020



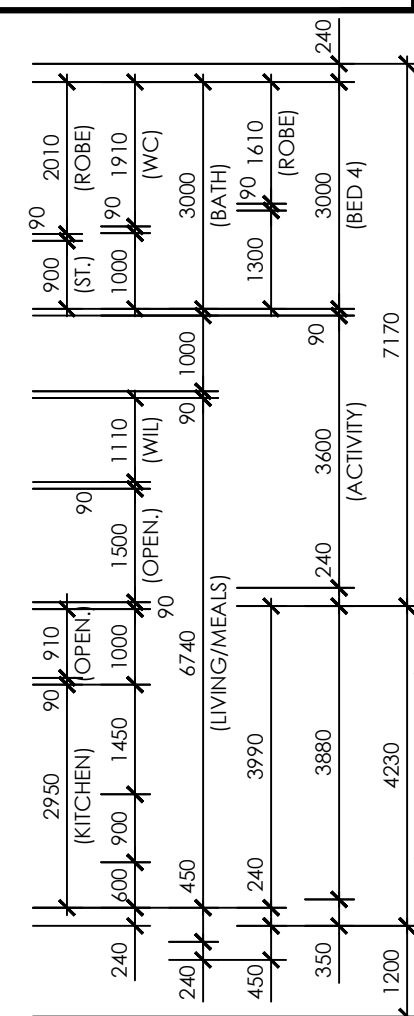
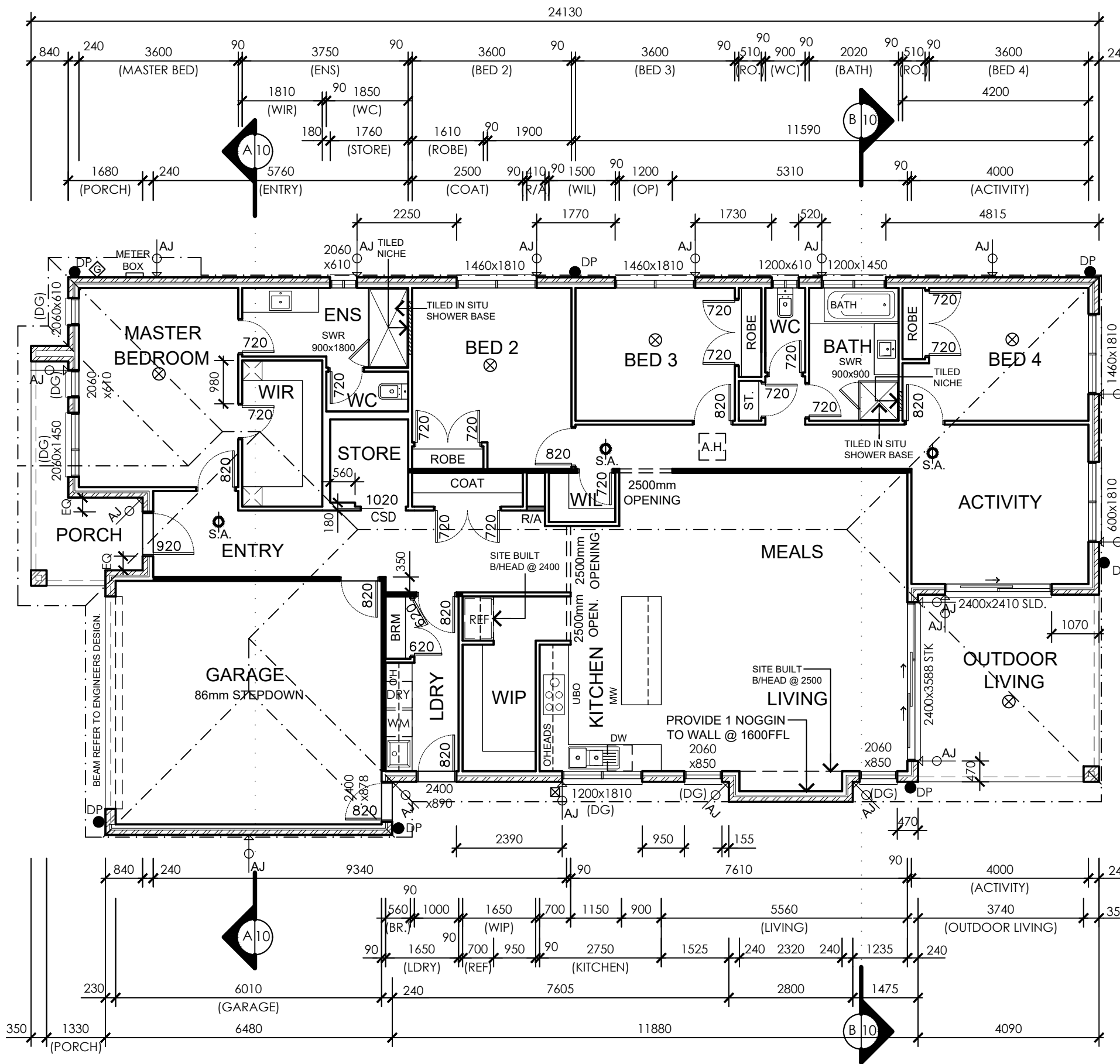
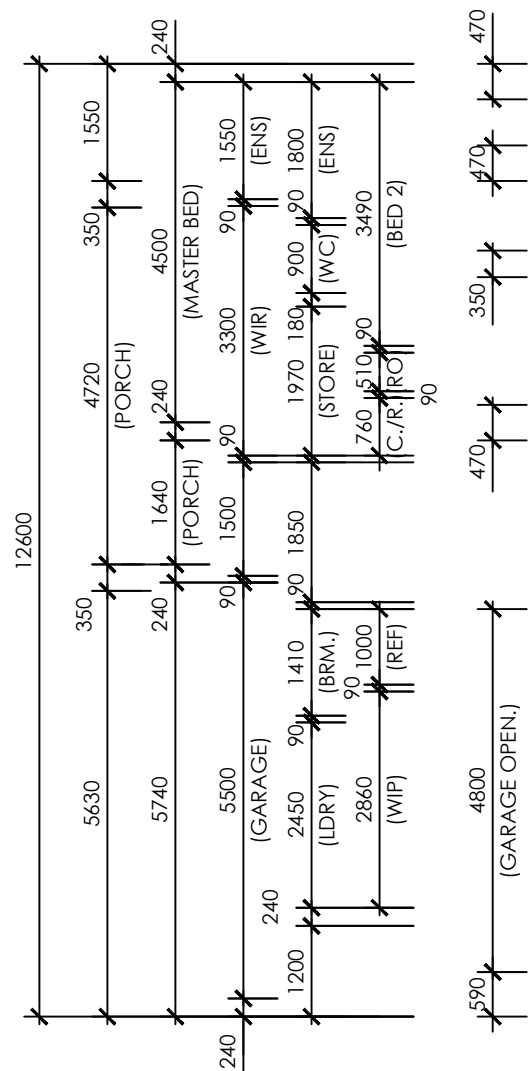
NOTE - DUCTED VENT TO BE PROVIDED TO RANGEHOOD AND EXHAUST FANS

GROUND FLOOR: 213.6 m² 22.99sq
 RESIDENCE: 213.6 m² 22.99sq
 GARAGE: 37.2 m² 4.01sq
 PORCH: 7.3 m² 0.79sq
 OUTDOOR LIVING: 17.3 m² 1.86sq
 TOTAL: 275.4 m² 29.64sq



VARIATION

VARIATION No. - **BV 1.0**
 DRAFTSPERSON - **TL**
 DATE - **02.02.2021**



☒ DENOTES EAVE VENT FOR ADJACENT FOR RANGEHOOD.

⊗ DENOTES NOGGINS TO CEILING

ENERGY NOTES:

6.1 STARS
 122.7 MJ/M²
 FLOOR INSULATION = R0.62
 CEILING INSULATION = R5.0
 WALL INSULATION = R2.5
 DOUBLE GLAZING - AS PER FLOOR PLAN

NOTE - 2340mm DOORS THROUGHOUT.

NOTE - DENOTES INTERNAL LOAD BEARING WALLS

NOTE - 100mm STEPDOWN TO ALL EXTERNAL CONCRETE SURFACES

FLOOR PLAN

- L SHAPE KITCHEN OPTION

Beachwood
HOMES

Evolve
COLLECTION



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 4439963475644/0 04 Feb 2021

**TERMITE PROTECTION
REQUIRED**

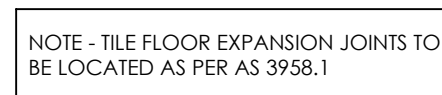
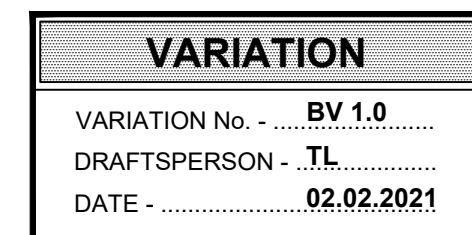
PROPOSED RESIDENCE

**A. & C. MWAMBA
 LOT 507 CINNAMON STREET
 DROUIN**

SIZE:	TITLE:	REF:	ISSUE:
A3	SORRENTO 29 (MOD)	10694	H
THIS IS SHEET 4 OF 15 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE:	02.02.2021
SIGNED OWNER:		DRAWN:	TT
BUILDER:		CHECKED:	TH
		SCALE:	1:100

FILE NAME: 10694-FINALS#H

MASTER DATE: 27.08.2020



NOTE - 2340mm DOORS
THROUGHOUT.

NOTE - DENOTES INTERNAL
LOAD BEARING WALLS

NOTE - 100mm STEPDOWN TO ALL
EXTERNAL CONCRETE SURFACES

Beachwood

HOMES

Evolve
COLLECTION



Jason Daniels BS-U 1441
4439963475644/0 04 Feb 2021

TERMITE PROTECTION
REQUIRED

**PROPOSED RESIDENCE
A. & C. MWAMBA
LOT 507 CINNAMON STREET
DROUIN**

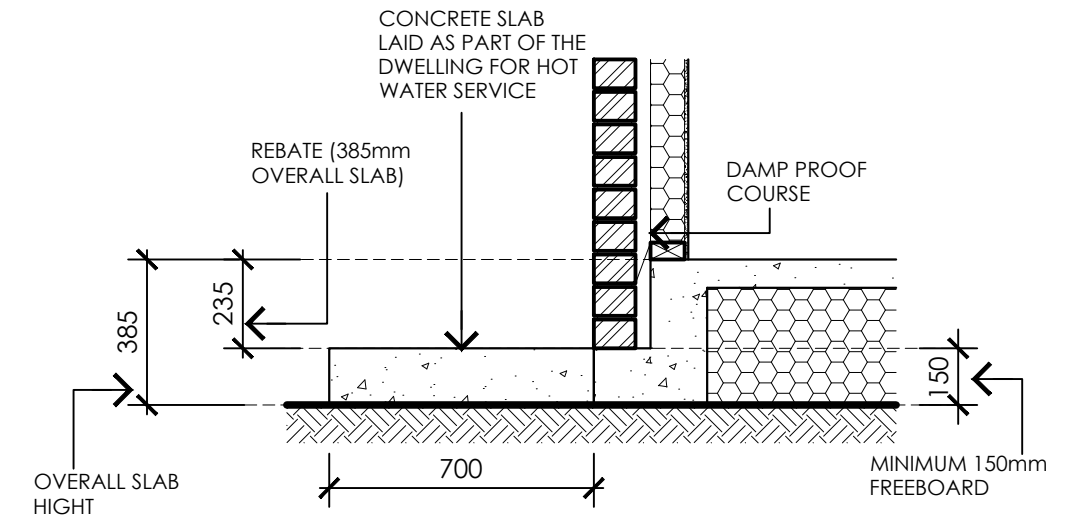
SIZE:	TITLE:	REF:	ISSUE:
A3	SORRENTO 29 (MOD)	10694	H
THIS IS SHEET 5 OF 15 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE:	02.02.2021
SIGNED OWNER:		DRAWN:	TT
BUILDER:		CHECKED:	TH
		SCALE :	1:100

FILE NAME: 10694-FINALS#H

MASTER DATE: 27.08.2020

VARIATION

VARIATION No. - **BV 1.0**
 DRAFTSPERSON - **TL**
 DATE - **02.02.2021**



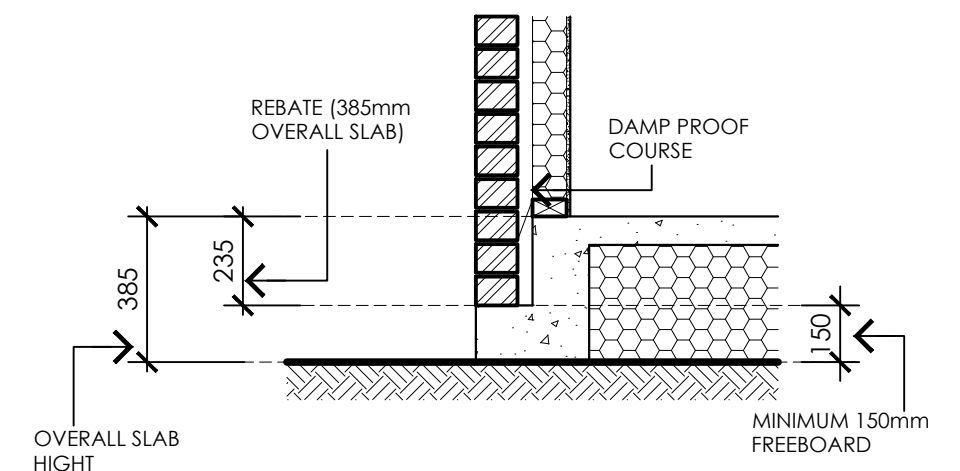
**SLAB STEPDOWN DETAIL
(385mm SLAB)**

ARTIFICIAL LIGHTING AND CEILING PENETRATION CALCULATIONS

Lighting						
Dwelling	Watts	Number	Total Watts	Area	Maximum W/m2	Allowable Watts
LED Downlight	9	12	108	213.6	5.0	1068.0
Batten Holder	14	15	210			
			0			
			0			
			0			
Porch/Alfresco	Watts	Number	Total Watts	Area	Maximum W/m2	Allowable Watts
LED Downlight	9	3	27	24.6	4.0	98.4
			0			
			0			
Garage	Watts	Number	Total Watts	Area	Maximum W/m2	Allowable Watts
Batten Holder	14	1	14	37.2	3.0	111.6
			0			
			0			

Total Watts	359.0	Allowable Watts	1278.0
Compliance	PASS		

Note: All external lighting must be controlled by a daylight sensor for have a minimum efficiency of 40 lumens per watt.



**SLAB STEPDOWN DETAIL
(385mm SLAB)**

SLAB REBATE DETAILS

Beachwood
HOMES

Evolve
COLLECTION



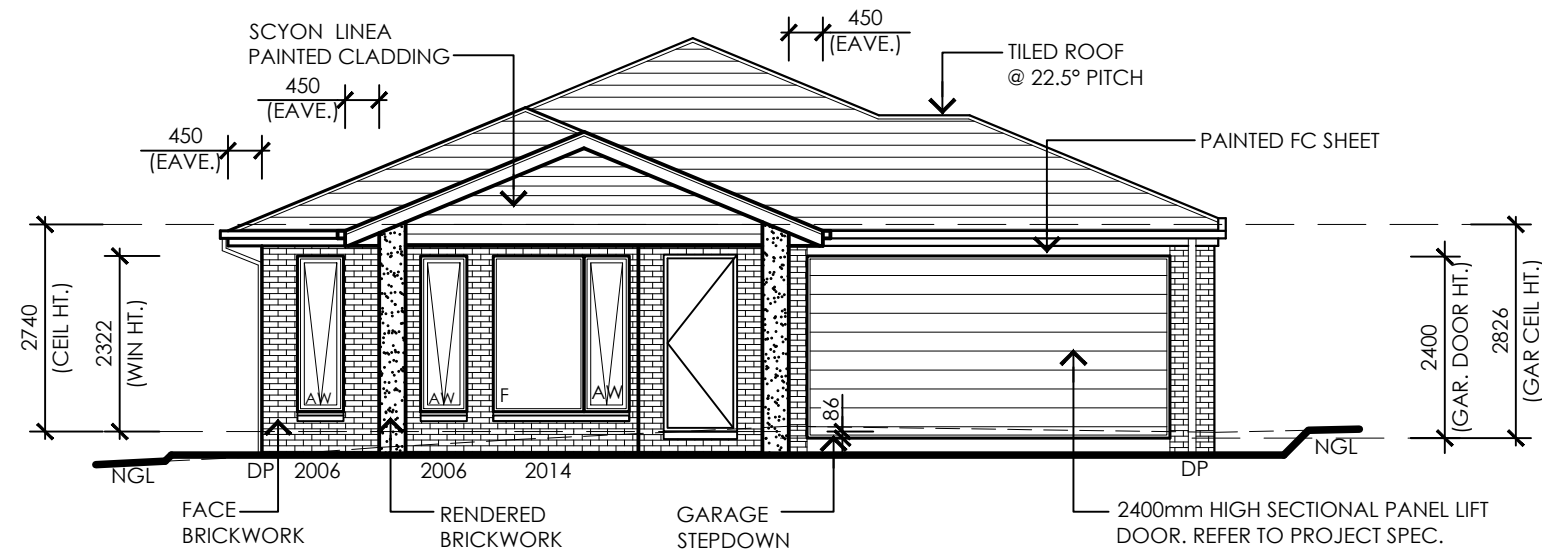
BUILDING PERMIT
 Jason Daniels BS-U 1441
 4439963475644/0 04 Feb 2021
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LOT 507 CINNAMON STREET
DROUIN

SIZE: A3	TITLE: SORRENTO 29 (MOD)	REF: 10694	ISSUE: H
THIS IS SHEET 7 OF 15 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE: 02.02.2021	
SIGNED OWNER:		DRAWN: TT	
BUILDER:		CHECKED: TH	
		SCALE: 1:100	

FILE NAME: 10694-FINALS#H

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ELEVATION - A

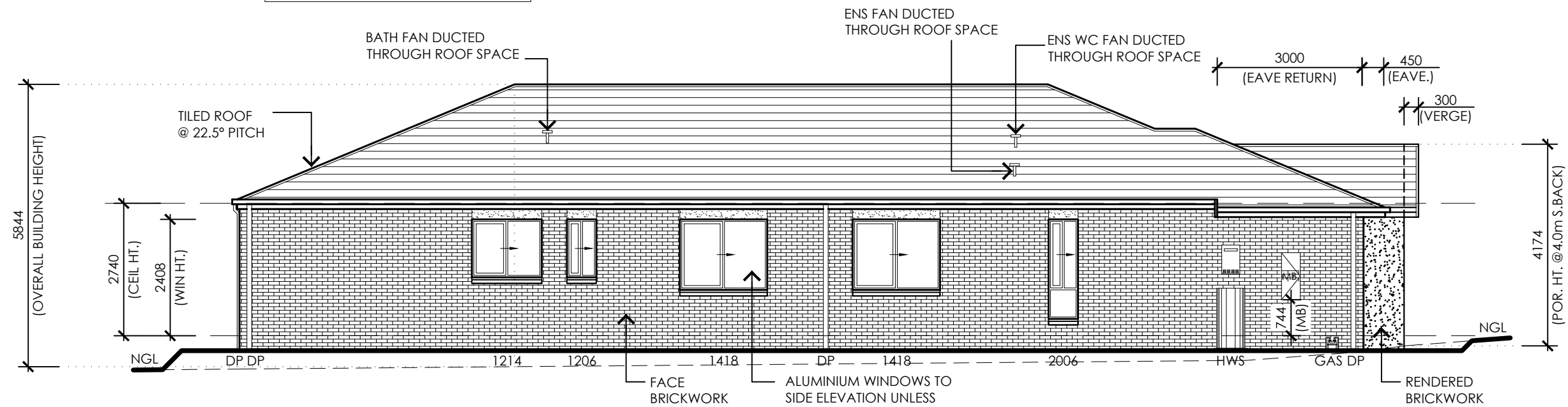
SCALE 1:100

SAFETY GLAZE TO A.S.1288
REFER TO GENERAL NOTES

VARIATION

VARIATION No. - **BV 1.0**
DRAFTSPERSON - **TL**
DATE - **02.02.2021**

DENOTES PAINTED F.C SHEET
OVER ALL OPENING UNLESS
STATED OTHERWISE



ELEVATION - B

SCALE 1:100

SAFETY GLAZE TO A.S.1288
REFER TO GENERAL NOTES

Beachwood
HOMES

Evolve
COLLECTION



BUILDING PERMIT

Jason Daniels BS-U 1441
4439963475644/0 04 Feb 2021

**TERMITE PROTECTION
REQUIRED**

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A. & C. MWAMBA
LOT 507 CINNAMON STREET
DROUIN

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THIS IS SHEET 8 OF 15 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE: 02.02.2021	
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BUILDER:		CHECKED: TH	
		SCALE: 1:100	

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MASTER DATE: 27.08.2020

DENOTES PAINTED F.C SHEET
OVER ALL OPENING UNLESS
STATED OTHERWISE

450
(EAVE.)

PAINTED FC
SHEET

SOLAR PANELS

BATH FAN DUCTED
THROUGH ROOF SPACE

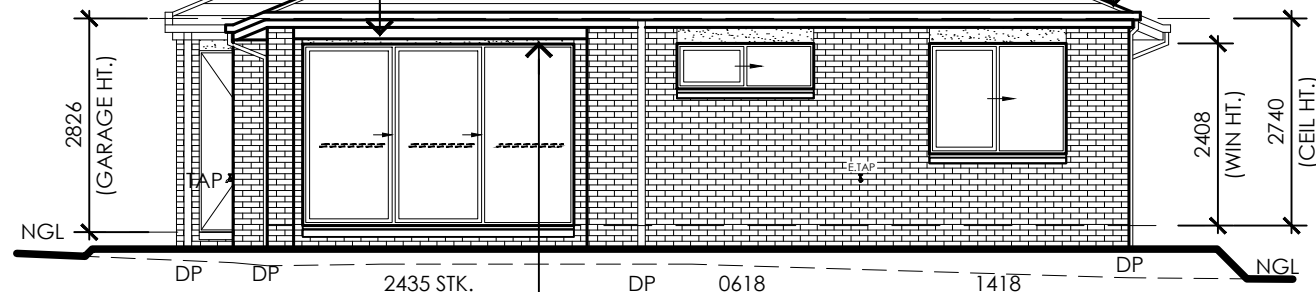
ENS WC FAN DUCTED
THROUGH ROOF SPACE

ENS FAN DUCTED
THROUGH ROOF SPACE

TILED ROOF
@ 22.5° PITCH

VARIATION

VARIATION No. - **BV 1.0**
DRAFTSPERSON - **TL**
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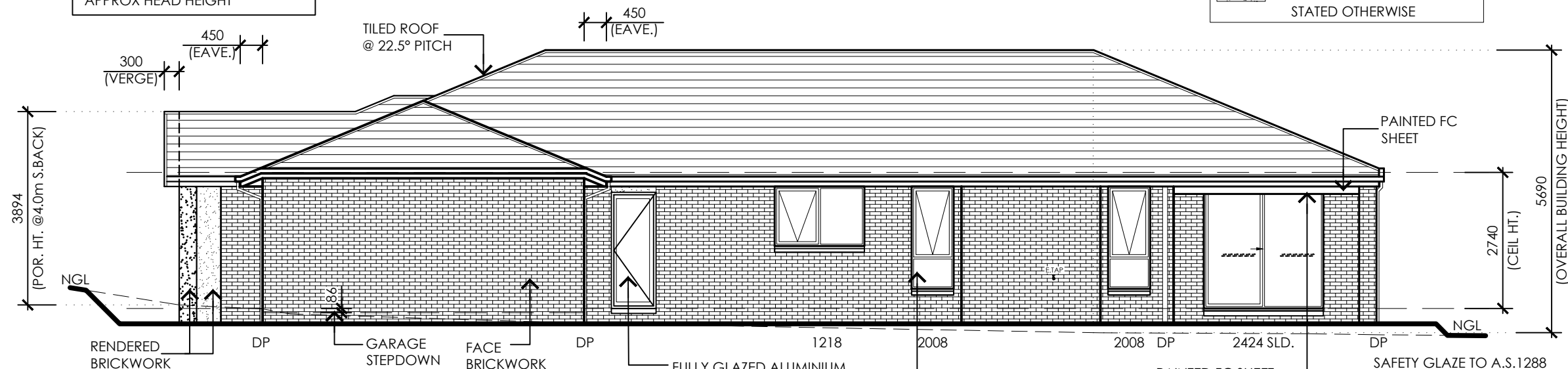


ELEVATION - C

SCALE 1:100

NOTE - WINDOWS TO SIT DIRECTLY
UNDERSIDE OF EAVES @2455mm
APPROX HEAD HEIGHT

DENOTES PAINTED F.C SHEET
OVER ALL OPENING UNLESS
STATED OTHERWISE



ELEVATION - D

SCALE 1:100

Beachwood
HOMES

Evolve
COLLECTION



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Jason Daniels BS-U 1441
4439963475644/0 04 Feb 2021

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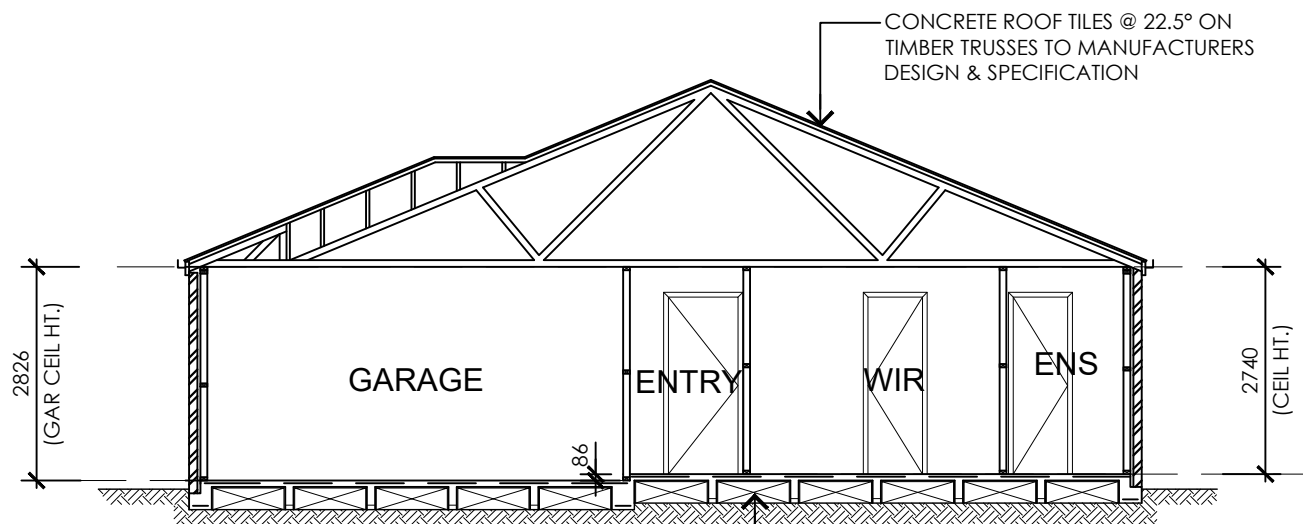
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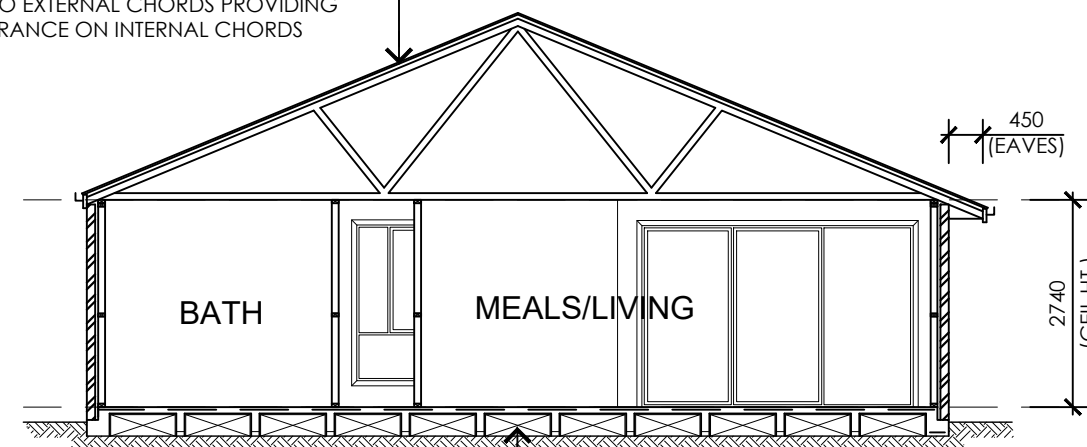


SECTION A-A

Scale 1:100

WAFFLE SLAB ON GROUND
REFER TO ENGINEERS DESIGN
AND SPECIFICATION.

CONCRETE ROOF TILES @ 22.5° ON TIMBER TRUSSES
TO MANUFACTURERS DESIGN & SPECIFICATION
DOUBLE PLATES TO EXTERNAL CHORDS PROVIDING
MIN 40mm CLEARANCE ON INTERNAL CHORDS



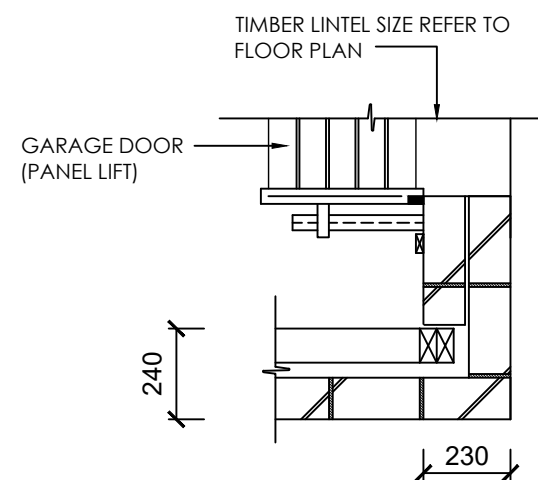
SECTION B-B

Scale 1:100

WAFFLE SLAB ON GROUND
REFER TO ENGINEERS DESIGN
AND SPECIFICATION.

VARIATION

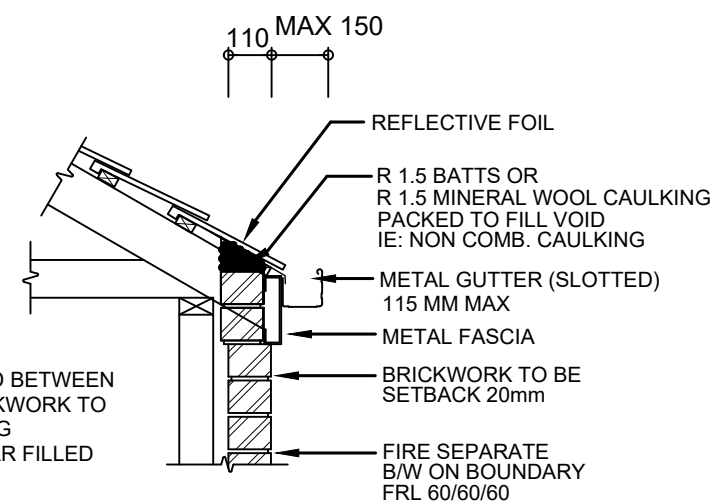
VARIATION No. - **BV 1.0**
DRAFTSPERSON - **TL**
DATE - **02.02.2021**



STANDARD GARAGE BRICK RETURN DETAIL

DETAIL '1'

Scale 1:20 (PLAN VIEW)



BRICKWORK TO EXTEND BETWEEN
RAFTERS & RAISE BRICKWORK TO
UNDERSIDE OF ROOFING
ALL GAPS TO BE MORTAR FILLED

NOTES: CUT OFF EVERY 2ND RAFTER
WHERE RAFTERS @ 450 C/C'S
REFLECTIVE FOIL IS REQUIRED
TO KEEP MOISTURE FROM INSULATION

GARAGE OVERHANGING GUTTER

DETAIL '2' 1:20

SECTION / DETAILS

Beachwood
HOMES

Evolve
COLLECTION



BUILDING PERMIT

Jason Daniels BS-U 1441
4439963475644/0 04 Feb 2021

**TERMITE PROTECTION
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LOT 507 CINNAMON STREET

DROUIN

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		SCALE:	AS SHOWN

FILE NAME: 10694-FINALS#H

MASTER DATE: 27.08.2020

ELECTRICAL SCHEDULE

REFER TO SPECIFICATIONS FOR INCLUSIONS SYMBOLS
MAY VARY & NOT BE APPLICABLE TO THIS PROJECT

POWER OUTLETS

SGPO - 300mm	DGPO - 300mm
SGPO - 1100mm	DGPO - 1100mm
SGPO - 1350mm	DGPO - 1350mm
SGPO - DISHWASHER @ 300	WP DGPO - EXTERNAL (WEATHER PROOF @???)
SGPO - MICROWAVE @ 800	
WP SGPO - EXTERNAL (WEATHER PROOF @???)	

LIGHT FITTINGS

LIGHT POINT BATTEN HOLDER	DOWNLIGHT LED GLOBE
WALL LIGHT (BATTEN)	FEATURE PENDANT LIGHT - ENERGY GLOBES
EXTERNAL WALL LIGHT	SGL. EXTERNAL FLOOD LIGHT WITH SENSOR
SGL. EXTERNAL FLOOD LIGHT	DBL. EXTERNAL FLOOD LIGHT WITH SENSOR
DBL. EXTERNAL FLOOD LIGHT	
JUNCTION BOX @ ????	LINEAR FLUORESCENT

SWITCHES

2 WAY	3 WAY	DIMMER SWITCH
TWO WAY SWITCH	THREE WAY SWITCH	

OTHER OUTLETS & FITTINGS

CEILING FAN	CEILING FAN WITH LIGHT
FAN LIGHT (4)	FAN LIGHT (2)
HEAT LAMP/LIGHT W FAN (4)	HEAT LAMP/LIGHT W FAN (2)
HEAT LAMP/LIGHT W/O FAN (4)	HEAT LAMP/LIGHT W/O FAN (2)
DUCTED HEATING POINT	DUCTED COOLING POINT
S.M. SMOKE ALARM	EVAP COOLING UNIT
EXHAUST FAN	DUCTED HEATING UNIT DOUBLE POWER POINT AND SINGLE LIGHT POINT FOR DUCTED HEATER IN CEILING
TH THERMOSTAT @ 1400	

DATA POINT	ADDITIONAL NOGGINS @1600
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CENTRAL VACUM	MOTOR VACUM OUTLET	VAC PAN
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TELEVISION POINT	PAY TV POINT	TELEPHONE POINT
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TELEVISION & DATA POINT	TELEPHONE & DATA POINT
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CAPPED COLD WATER POINT - 1950mm	HWS HOT WATER SYSTEM
-------------------------------------	----------------------

CAPPED GAS POINT - 300mm	INST HWS INSTANTANEOUS HWS
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GAS METER	METER BOX
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SPLIT SYSTEM (INTERNAL)	SPLIT SYSTEM (EXTERNAL)	SPLIT SYSTEM (ELEVATION)	REFRIGERATED COOLING
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INTERNAL 2.4 KW	INTERNAL 3.2 KW	INTERNAL 4.8 KW	INTERNAL 6.9 KW	INTERNAL 7.8 KW	SERVICES
-----------------	-----------------	-----------------	-----------------	-----------------	----------

EXTERNAL 2.4 KW	EXTERNAL 3.2 KW	EXTERNAL 4.8 KW	EXTERNAL 6.9 KW	EXTERNAL 7.8 KW	ELEVATION
-----------------	-----------------	-----------------	-----------------	-----------------	-----------

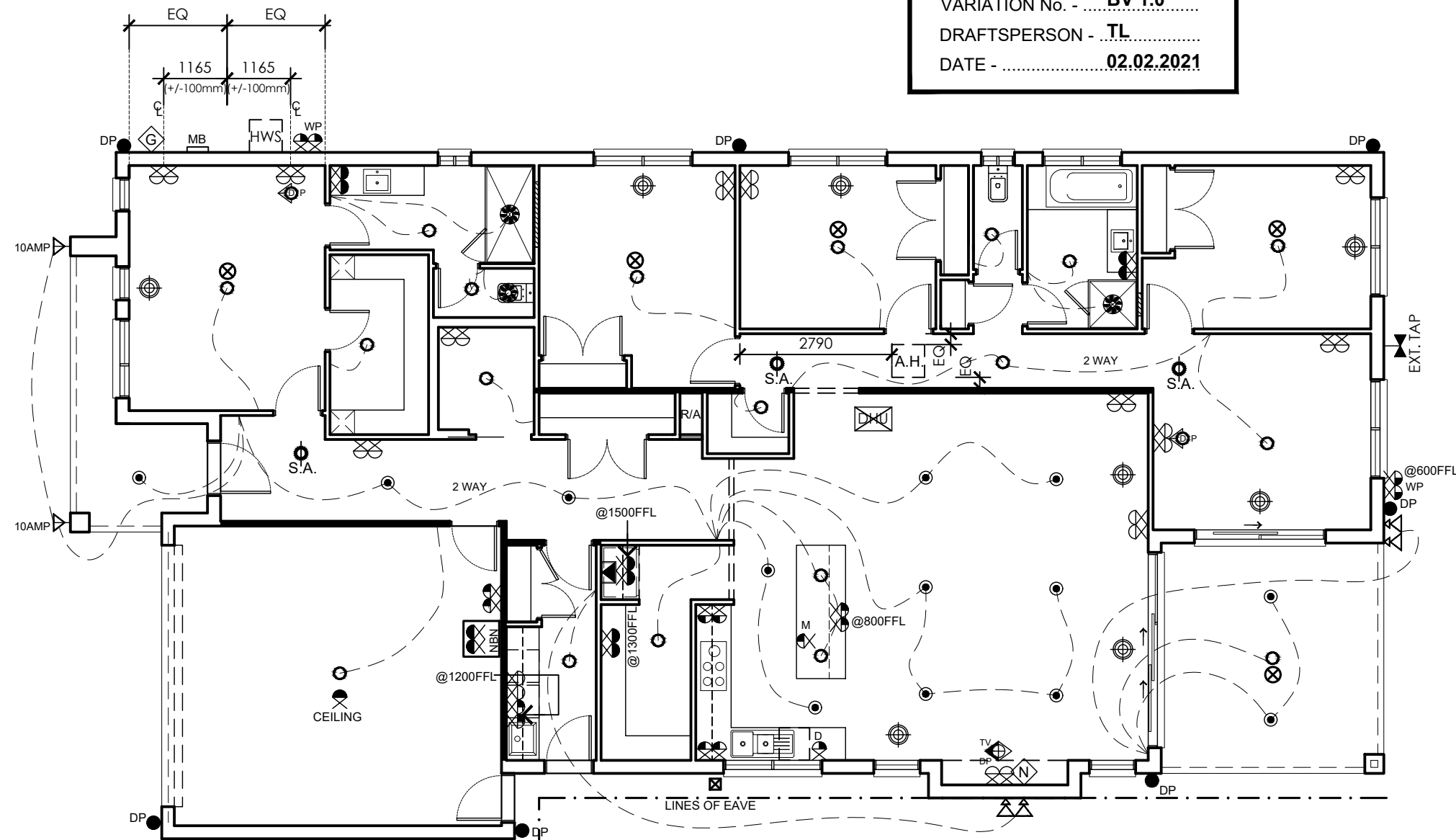
ELEVATION 2.4 KW	ELEVATION 3.2 KW	ELEVATION 4.8 KW	ELEVATION 6.9 KW	ELEVATION 7.8 KW	
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SIZE: A3	TITLE: SORRENTO 29 (MOD)	REF: 10694	ISSUE: H
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THIS IS SHEET 11 OF 15 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:	DATE: 02.02.2021
SIGNED OWNER:	DRAWN: TT
BUILDER:	CHECKED: TH
	SCALE: 1:100

VARIATION

VARIATION No. - **BV 1.0**
DRAFTSPERSON - **TL**
DATE - **02.02.2021**



⊗ DENOTES NOGGIN TO CEILING

⊠ DENOTES EAVE VENT FOR ADJACENT TO THE RANGEHOOD

LIGHT SWITCHES TO BE CONFIRMED ON SITE SUBJECT TO TRUSS AND STUD LOCATIONS

NOTE - DUCTED VENT TO BE PROVIDED TO RANGEHOOD AND EXHAUST FANS

IMPORTANT NOTE - GPO FOR MICROWAVE TO BE INSTALLED OUTSIDE OF MICROWAVE RECESS

NBN - NOTE ALL NBN POINTS INCLUDING PHONE AND DATA TO CONCLUDE BACK TO NBN TERMINATION POINT (CABINET NOT INCLUDED)

SERVICES PLAN

BCA 3.12.3

BUILDING SEALING & PENETRATION SEALING TO BCA 3.12.3

BCA 3.12.1.2 (c)

PROVIDE THERMAL BREAK AS PER BCA 3.12.1.2 (c)

BCA 3.12.5.5 (d)

ARTIFICIAL LIGHTING AROUND THE PERIMETER OF A BUILDING MUST -

(i) BE CONTROLLED BY DAYLIGHT SENSOR; OR
(ii) HAVE AN AVERAGE LIGHT SOURCE EFFICACY OF NOT LESS THAN 40 LUMENS/W



BUILDING PERMIT

Jason Daniels BS-U 1441

4439963475644/0 04 Feb 2021

TERMITE PROTECTION

REQUIRED

PROPOSED RESIDENCE

A. & C. MWAMBA

LOT 507 CINNAMON STREET

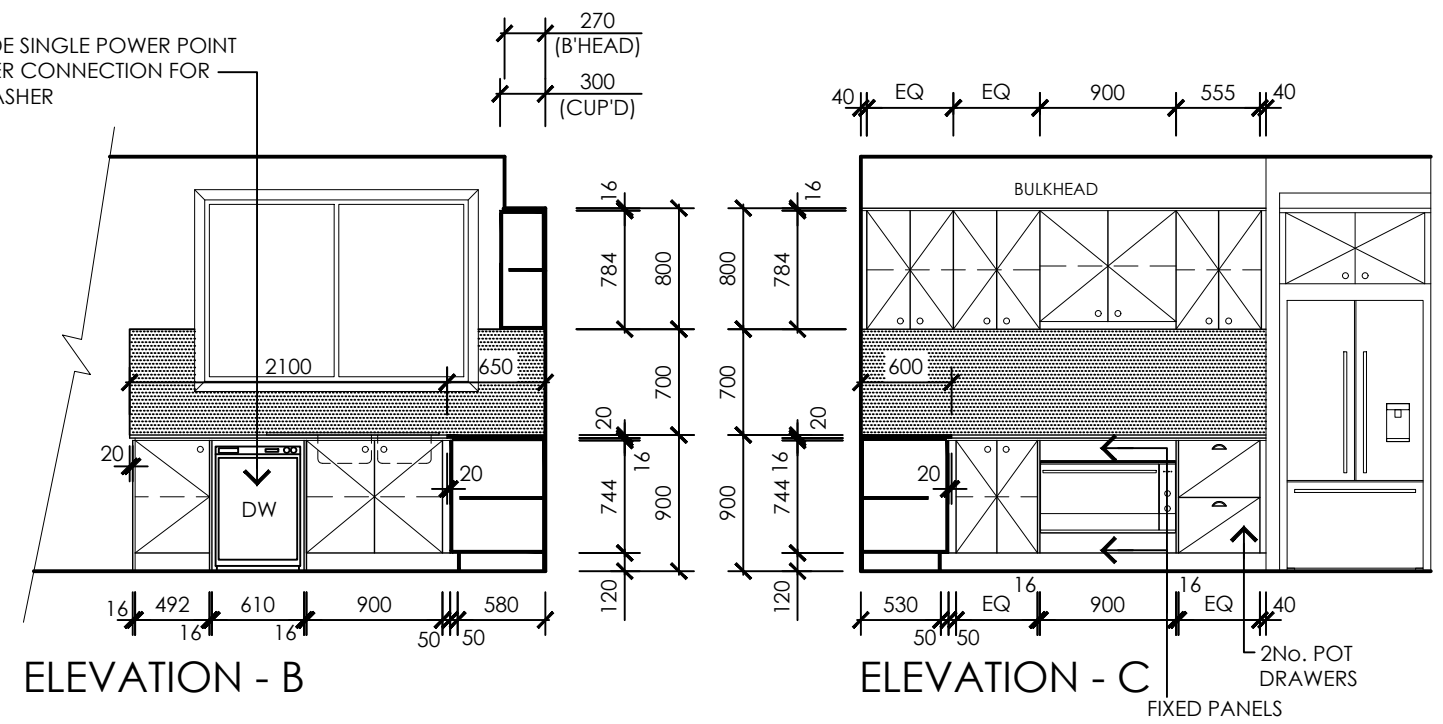
DROUIN

Beachwood
HOMES

Evolve
COLLECTION

FILE NAME: 10694-FINALS#H

MASTER DATE: 27.08.2020



NOT TO SCALE

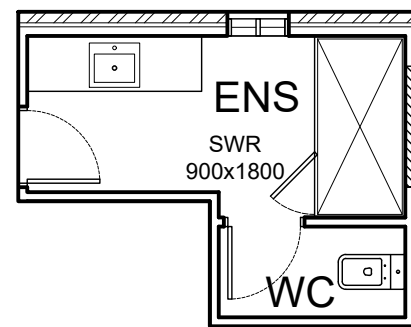


VARIATION No. - **BV 1.0**
DRAFTSPERSON - **TL**
DATE - **02.02.2021**



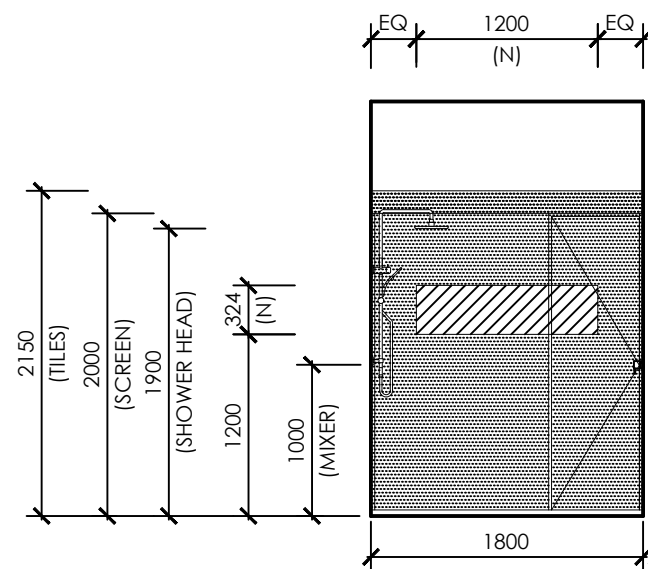
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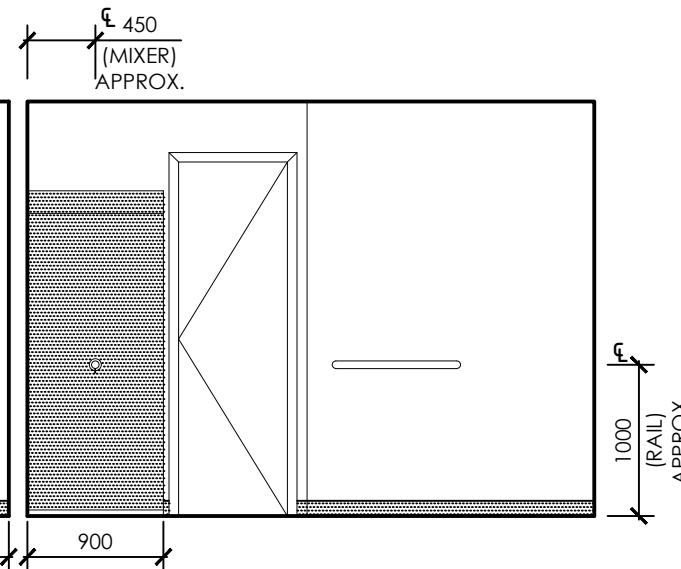


ENS & WC

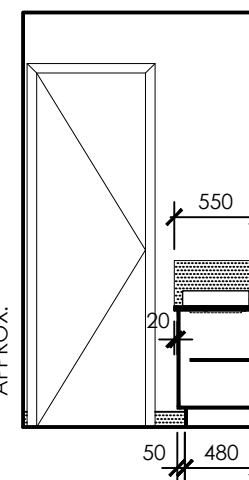
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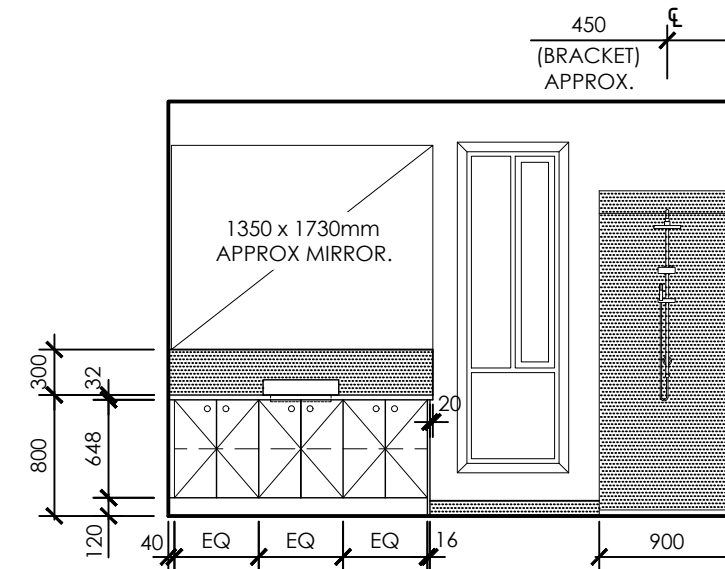
ELEVATION - A



ELEVATION - B



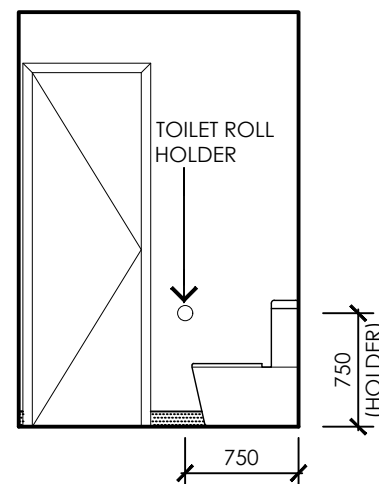
ELEVATION - C



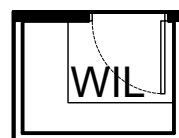
ELEVATION - D

VARIATION

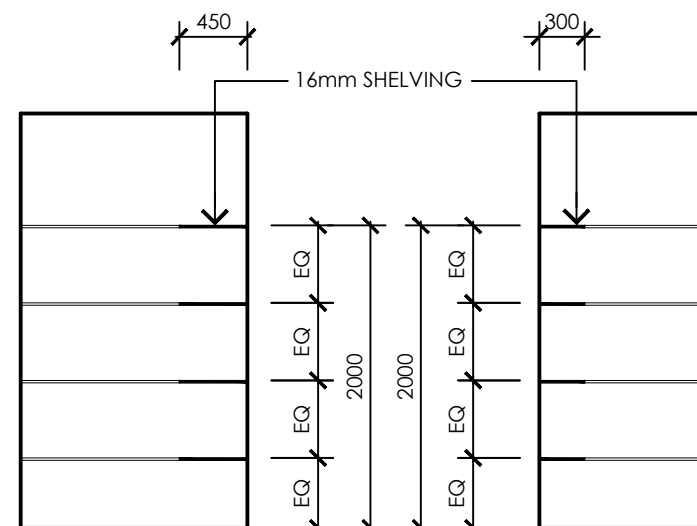
VARIATION No. - **BV 1.0**
DRAFTSPERSON - **TL**
DATE - **02.02.2021**



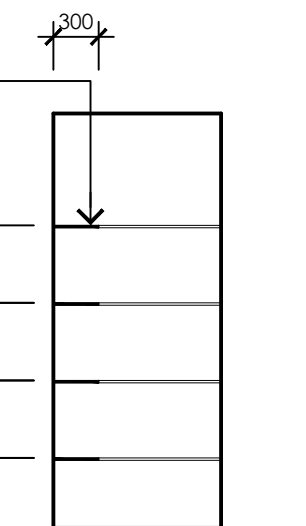
ELEVATION - E



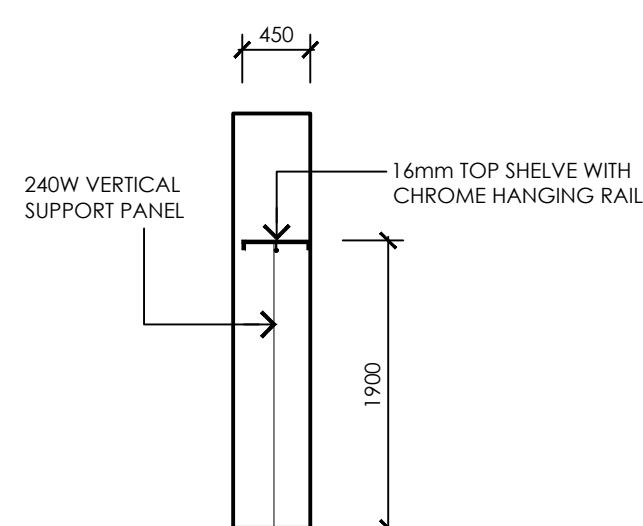
WIL
NOT TO SCALE



ELEVATION - B



ELEVATION - C



TYPICAL BED
ROBE/COAT/STORE

Beachwood
HOMES

Evolve
COLLECTION



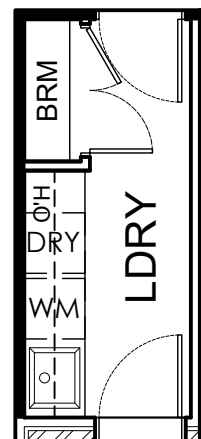
BUILDING PERMIT
Jason Daniels BS-U 1441
4439963475644/0 04 Feb 2021
**TERMITE PROTECTION
REQUIRED**

PROPOSED RESIDENCE
A. & C. MWAMBA
LOT 507 CINNAMON STREET
DROUIN

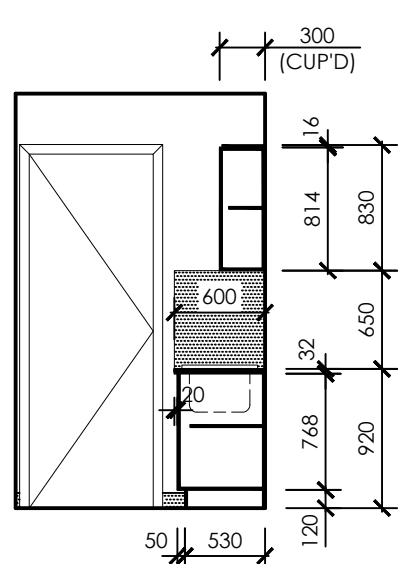
SIZE:	TITLE:	REF:	ISSUE:
A3	SORRENTO 29 (MOD)	10694	H
THIS IS SHEET 13 OF 15 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE:	02.02.2021
SIGNED OWNER:		DRAWN:	TT
BUILDER:		CHECKED:	TH
		SCALE:	1:50/1:75

FILE NAME: 10694-FINALS#H

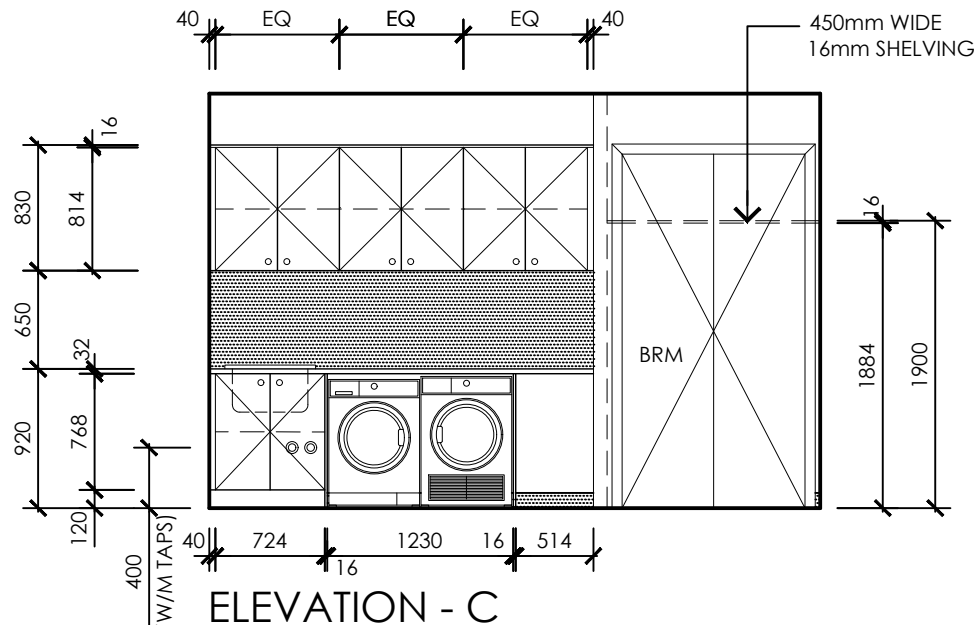
MASTER DATE: 27.08.2020



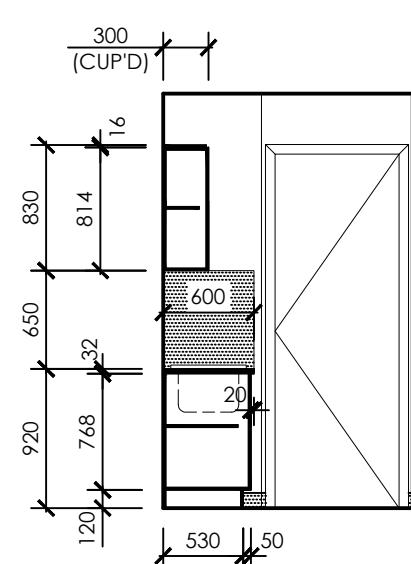
LDry
NOT TO SCALE



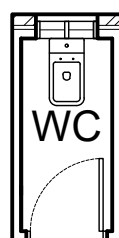
ELEVATION - B



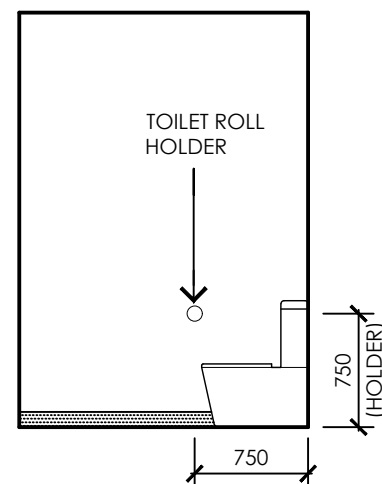
ELEVATION - C



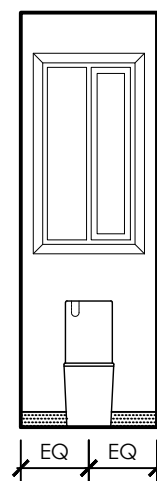
ELEVATION - D



WC
NOT TO SCALE



ELEVATION - C



ELEVATION - D

VARIATION

VARIATION No. - **BV 1.0**
DRAFTSPERSON - **TL**
DATE - **02.02.2021**



BUILDING PERMIT

Jason Daniels BS-U 1441
4439963475644/0 04 Feb 2021

**TERMITE PROTECTION
REQUIRED**

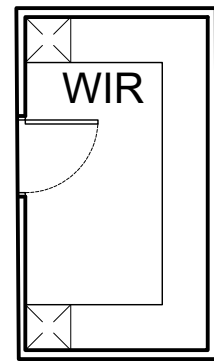
**Beachwood
HOMES**

**Evolve
COLLECTION**

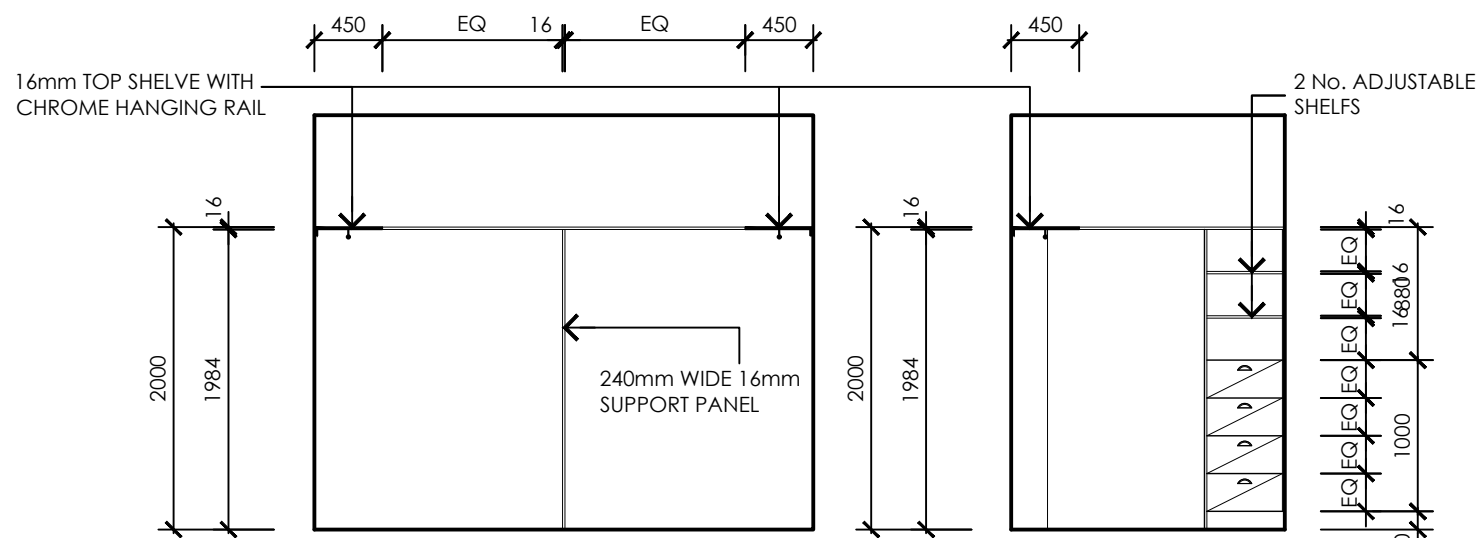
PROJECT:
CLIENT:
AT:

**PROPOSED RESIDENCE
A. & C. MWAMBA
LOT 507 CINNAMON STREET
DROUIN**

SIZE: A3	TITLE: SORRENTO 29 (MOD)	REF: 10694	ISSUE: H
THIS IS SHEET 14 OF 15 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE: 02.02.2021	
SIGNED OWNER:		DRAWN: TT	
BUILDER:		CHECKED: TH	
		SCALE: 1:50/1:75	

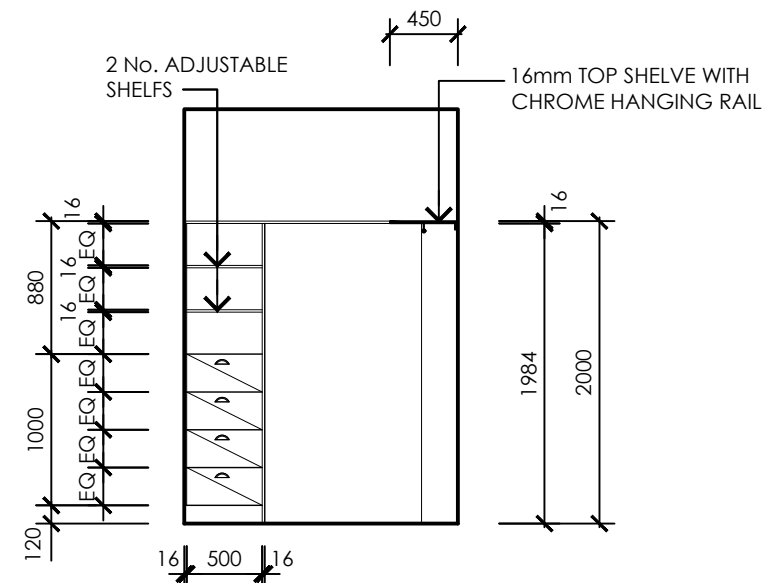


WIR
NOT TO SCALE



ELEVATION - A

ELEVATION - B



ELEVATION - D



BUILDING PERMIT

Jason Daniels BS-U 1441

4439963475644/0 04 Feb 2021

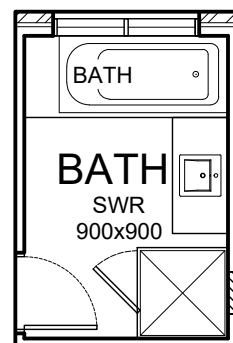
**TERMITE PROTECTION
REQUIRED**

VARIATION

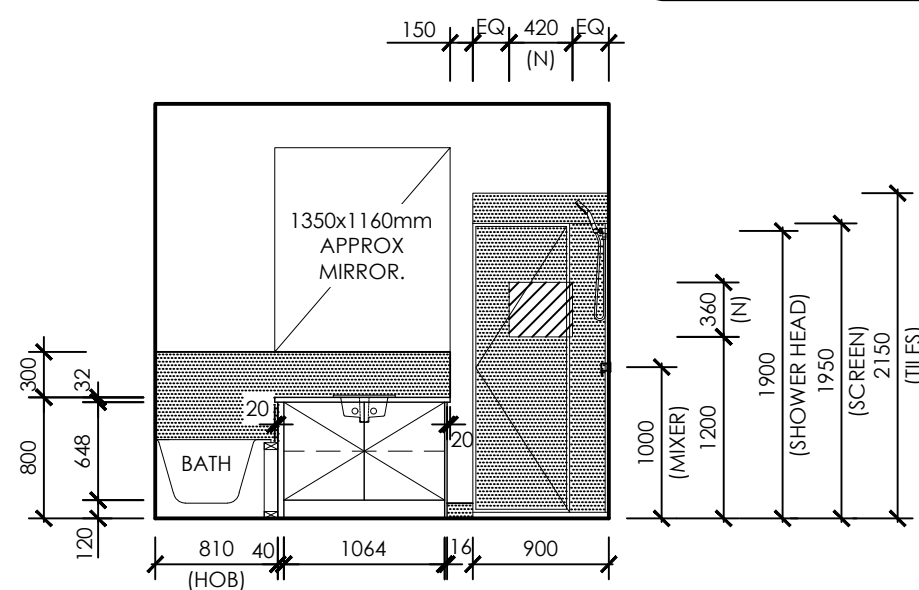
VARIATION No. - **BV 1.0**

DRAFTSPERSON - **TL**

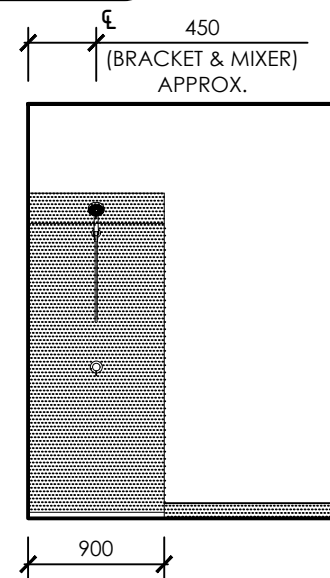
DATE - **02.02.2021**



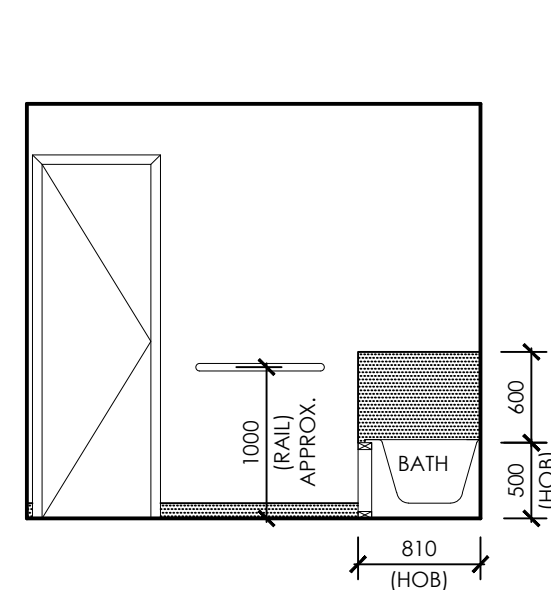
BATH
NOT TO SCALE



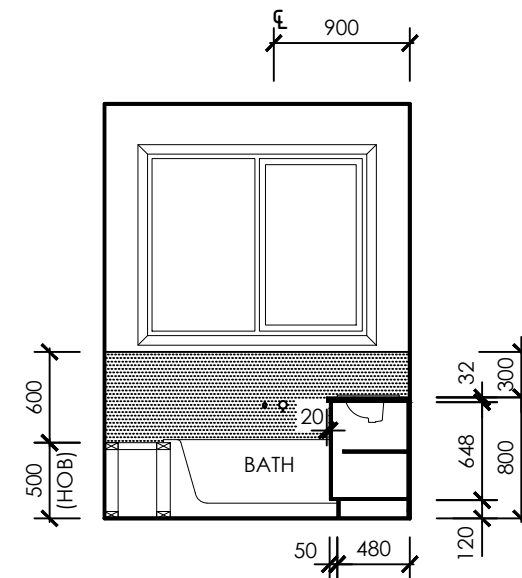
ELEVATION - A



ELEVATION - B



ELEVATION - C



ELEVATION - D

**Beachwood
HOMES**

**Evolve
COLLECTION**



PROJECT:
CLIENT:
AT:

**PROPOSED RESIDENCE
A. & C. MWAMBA
LOT 507 CINNAMON STREET
DROUIN**

SIZE:
A3

TITLE:
SORRENTO 29 (MOD)

THIS IS SHEET 15 OF 15 OF DRAWINGS REFERRED
TO IN THE CONTRACT DATED:
SIGNED OWNER:
BUILDER:

REF:
10694

ISSUE:
H
DATE: **02.02.2021**
DRAWN: **TT**
CHECKED: **TH**
SCALE: **1:50/1:75**



06 May 2026

Land Information Certificate

In accordance with Section 121 of the Local Government Act 2020

Straightforward Conveyancing Pty Ltd
C/- Landata
GPO Box 527
MELBOURNE VIC 3001

Certificate No:	CerR/C028063	Your Reference:	80426121-015-0
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This certificate provides information regarding valuation, rates, charges, other monies and any orders and notices made under the Local Government Act 1958, the Local Government Act 1989, the Local Government Act 2020, or under a local law or by-law of the Council.

This certificate is not required to include information regarding Planning, Buildings, Health, Land Fill, Land Slip, other Flooding information or Service Easements. Information regarding these matters may be available from the Council or the relevant Authority. A fee may be charged for such information.

PROPERTY DETAILS	
Property Number:	33310
Property Owner/s:	Ackim N Mwamba & Courtney J Mwamba
Property Address:	25 Cinnamon Street DROUIN VIC 3818
Property Description:	V12205 F994 Lot 507 PS825100W Drouin West Parish

VALUATION DETAILS			
Site Value:	\$270,000	Valuation Date:	01/01/2025
Capital Improved Value:	\$720,000		
Net Annual Value:	\$36,000	Effective Date:	01/07/2025

RATES AND CHARGES DETAILS

Details for financial year ending 30th June 2026:

Arrears		
All Rates and Charges	887.00	
Arrears Sub Total		887.00
Current Years Rates and Charges		
Rates	1,919.55	
Waste and Recycling	554.00	
Emergency Services and Volunteers Fund	260.55	
Current Years Rates and Charges Sub Total		2,734.10
Payments Received	-3,622.00	
TOTAL BALANCE IN CREDIT		-0.90

IMPORTANT

There is *NO* potential liability for rates under the Cultural and Recreational Lands Act 1963.

There are *NO* outstanding amounts required to be paid for recreational purposes or any transfer of land required to Council for recreational purposes under Section 18 of the Subdivision of Land Act 1988 or the Local Government Act 1958.

In accordance with Section 175 of the Local Government Act 1989 a person who becomes the owner of rateable land must pay any rate or charge that is current or in arrears (including any interest on those rates or charges) on the land which are due and payable at the time that person becomes the owner of the land.

In accordance with section 175(1) of the Local Government Act 1989, all unpaid rates and charges are required to be paid immediately upon settlement, regardless of the due date.

This certificate is valid for a period of 90 days from issue date, confirmation of outstanding balance should be sought as close to settlement date as practicable. For settlement purposes credit balances must be factored into settlement adjustments.

Should you have any queries regarding this Certificate, please quote Certificate reference **CerR/C028063**.

I hereby certify that the information given in this certificate is true and correct as at the issue date.		06 May 2026
	_____ Authorised Officer	Issue Date

	Biller Code: 5801 Ref: 0000 1004 4725
Telephone & Internet Banking – BPAY® Contact your bank or financial institution to make this payment from your cheque, savings, debit, or transaction account. More info: www.bpay.com.au	

04 May 2026

Applicant Reference:
Reference:80426121-028-0
02007397-02

Landata

Secure Electronic Registries Vic (SERV) Locked Bag
MELBOURNE VIC 3001

Thank you for requesting a Gippsland Water Information Statement. We are pleased to provide you with an Information Statement for the below property.

Applicant: Landata
Property Address: 25 Cinnamon St Drouin Vic 3818
Certificate No: 175128

Please find enclosed:

- Section 158 Statement
- Financial Statement
- Important Information
- Asset Plan (if available)

If you have any questions relating to this Information Statement please phone Gippsland Water on 1800 050 500 or email us at infostats@gippswater.com.au.

Online updates are available, please visit our website www.gippswater.com.au to register for our Solicitor Updates Online service.

Yours sincerely



Nigel Gerreyn
MANAGER PROPERTY SERVICES

Section 158 Statement*(Water Act 1989)*

Date of Issue:	04/05/2026	Applicant Reference:	80426121-028-0
Certificate No:	175128	Reference:	02007397-02
Property Address:	25 Cinnamon St Drouin Vic 3818		
Property Details:	Lot 507 Plan PS825100		
Settlement Date:	30/06/2026		

The following items relate to Section 158 of the *Water Act 1989*:

- ⇒ This property has a tenant registered, if the tenant is vacating at settlement please advise Gippsland Water no less than two (2) working days prior to settlement to enable a final water meter reading to be scheduled.

Protection of Gippsland Water Assets:

It is possible that this property has water or sewerage infrastructure located on it. Please refer to the attached plan. Unless prior written consent has been obtained from Gippsland Water, the *Water Act 1989* PROHIBITS:

1. The erection and / or placement of any structure (including but not limited to building, wall, fence, driveway, machinery, embankment) or the removal or addition of filling, over an easement or within one metre laterally of Gippsland Water's water supply and sewerage assets.
2. The connection to, or interference with, any Gippsland Water water supply or sewerage asset.

Gippsland Water may require removal of any trees which may be, in the view of Gippsland Water, invasive to its water supply and sewerage assets. The guide *Planting the Right Trees* is available on the Gippsland Water website.

For additional information, please contact Gippsland Water on 1800 050 500.

Financial Statement

Date of Issue: 04/05/2026
Certificate No: 175128
Applicant Reference: 80426121-028-0
Reference: 02007397-02
Property Address: 25 Cinnamon St Drouin Vic 3818
Property Details: Lot 507 Plan PS825100
Settlement Date: 30/06/2026

Gippsland Water billing periods: 01 Jul to 31 Oct, 01 Nov to 28 Feb and 01 Mar to 30 June

Charges levied for billing period: 01 Mar to 30 Jun

Financial Information:

Brought Forward Balance	-137.26
Sewer Scheme Charges	0.00

Adjustable Charges:

Water Service Charges	64.69
Wastewater Service Charges	297.24
Fire Service Charges	0.00
Commercial Trade Waste Charges	0.00

Non Adjustable Charges:

Wastewater Volumetric Charges	0.00
Notional / Usage Charges	0.00
Miscellaneous / Adjustments / Credits	-200.00
Interest	0.00

Total Outstanding	24.67
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(Please note: CR denotes a credit)



Bill Code: 3475
REF: 3680 0002 0073 9702 1
Pay by savings or credit card



Gippsland Water Authorised Officer:

Date: 4 May 2026



Solicitors
Updates Online
Tool

Gippsland Water has launched a tool to enable you to get your financial updates online

REGISTER TODAY

<https://www.gippswater.com.au/developers/property-connections/solicitor-updates-online>

Important Information

Gippsland Water bill period:

Gippsland Water bills three times per year, for billing periods: 01/07 to 31/10, 01/11 to 28/02 and 01/03 to 30/06.

Gippsland Water tariffs:

Gippsland Water tariffs are reviewed annually and applied as of 01 July. Please ensure you obtain a financial update prior to settlement.

Adjustable and non adjustable charges:

Charges listed under the adjustable charges section are fixed service charges that are applicable to the property e.g. water availability charges. Charges listed under the non adjustable section are applicable to the customer e.g. notional/usage charges, these charges do not need to be adjusted. Interest may continue to accrue after this statement has been generated.

Do not adjust on any credit balances as any credit remaining after settlement will remain with the vendor.

Payment of Gippsland Water accounts:

Gippsland Water requires payment of any outstanding charges within 10 working days of settlement occurring. Any unpaid charges will become the responsibility of the new property owner. Enquiries relating to the unpaid charges will be referred to the purchaser's solicitor or conveyancer.

Financial updates:

It is important to obtain a financial update within 10 days of settlement. Balances may change throughout the bill period and any unpaid charges may be transferred to the purchaser at settlement. Updates can be obtained online through the solicitor updates online

<https://www.gippswater.com.au/developers/property-connections/solicitor-updates-online>.

Notice of property transfer:

Gippsland Water requires notice of property transfer to be received within 10 working days of settlement taking place. Where Gippsland Water has not received notice of a property transfer, the payment of accounts remains the responsibility of the vendor. Notices of property transfer are to be emailed to propertytransfers@gippswater.com.au

Validity of the Information Statement:

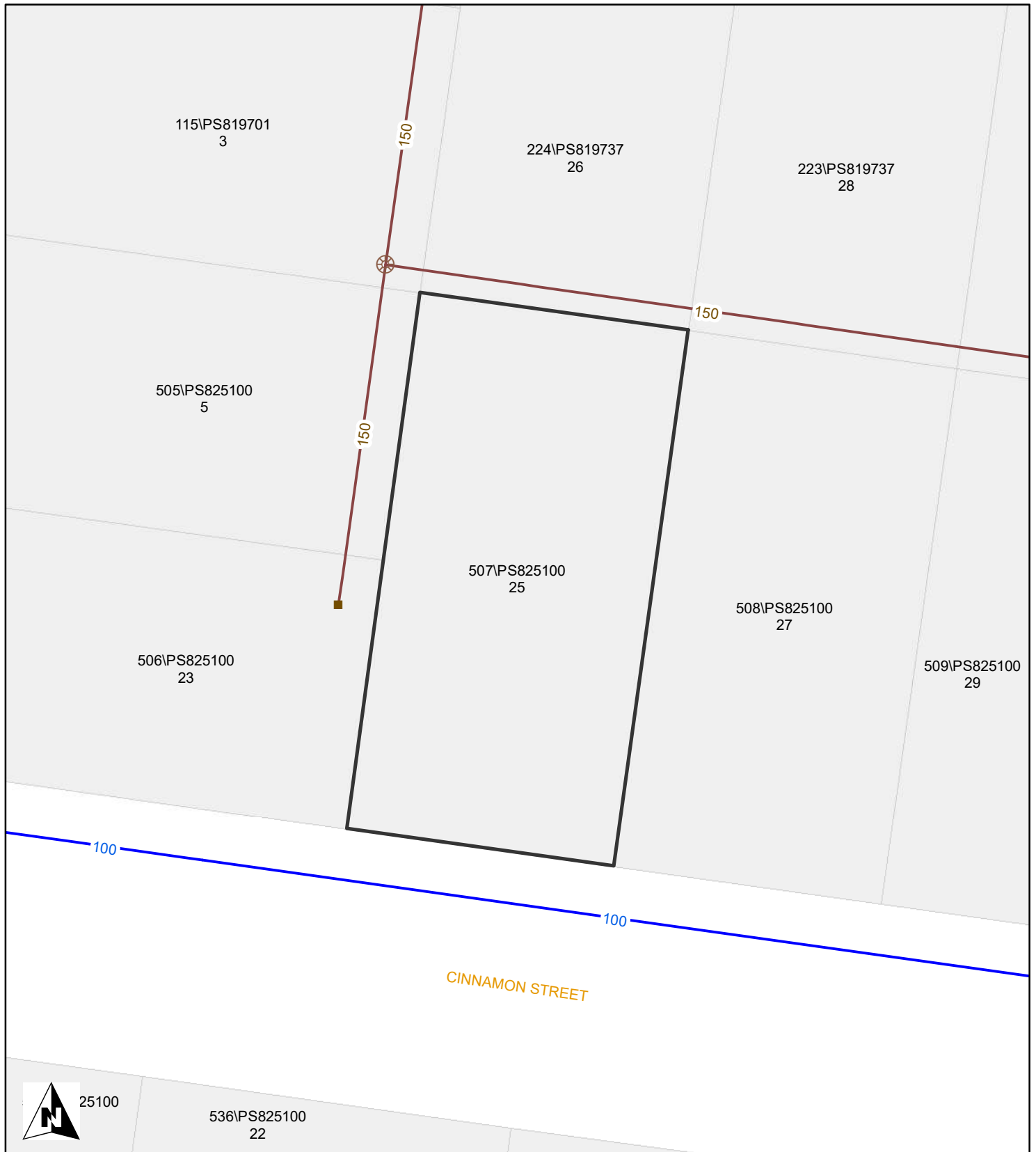
This Information Statement will be valid only to the end of the next billing period after the date of issue of this Information Statement.

Automatic eBilling Registration for new customers

Gippsland Water will automatically register our customers for electronic billing upon the creation of their account. Customers can switch to receiving paper bills by post at any time. Refer to our eBilling terms and conditions for more information: www.gippswater.com.au/digital-billing-terms-conditions. We will not disclose personal information to any external parties without consent, unless required or authorised by law. Refer to our privacy policy which sets out how and why we collect, use and disclose your personal information:

www.gippswater.com.au/legal/privacy-policy

You can request a printed version of the eBilling Terms and Conditions and/or Privacy by emailing us at contactus@gippswater.com.au or call us on 1800 050 500.



Gippsland Water Asset Plan

25 Cinnamon St Drouin

Information Statement No: 175128

Date Issued: 4/05/2026



Water Pipes

- Reticulation
- Distribution
- Transfer

Sewer Pipes

- Gravity
- Pressure
- Rising Main

House Discharge Line

- House Discharge Line



Maintenance Point



Manhole



Pipe End



Collection Tank

Disclaimer: Gippsland Water does not quarentee or make any representation or warrant the accuracy, scale or completeness of information inthis product. Any person relying upon such information does so on the basis that Gippsland Water shall bear no responsibility or liability for loss, damage or injury arising from any error, fault, defect, or omission in the information. Any persons using this information should make their own site investigation and accommodate their works accordingly.

Straightforward Conveyancing Pty Ltd
C/- Triconvey2 (Reseller)
E-mail: certificates@landata.vic.gov.au

Statement for property:
LOT 507 25 CINNAMON STREET
DROUIN 3818
507 PS 825100

REFERENCE NO.	YOUR REFERENCE	DATE OF ISSUE	CASE NUMBER
31C//07933/00017	LANDATA CER 80426121-024-2	04 MAY 2026	52066725

1. Statement of Fees Imposed

The property is classified as a serviced property with respect to charges which as listed below in the Statement of Fees.

(a) By Other Authorities

Melbourne Water Corporation Total Service Charges	01/04/2026 to 30/06/2026	\$17.15
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(b) By South East Water

Subtotal Service Charges	\$17.15
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Arrears	\$9.70
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TOTAL UNPAID BALANCE	\$26.85
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- Financial Updates (free service) are only available online please go to (type / copy the complete address shown below): <https://secureapp.southeastwater.com.au/PropertyConnect/#/order/info/update>

* Please Note: if usage charges appear above, the amount shown includes one or more of the following:

Water Usage, Recycled Water Usage, Sewage Disposal, Fire Service Usage and Trade Waste Volumetric Fees.

Interest may accrue on the South East Water charges listed in this statement if they are not paid by the due date as set out in the bill.

- The total annual service fees and volumetric fees for water usage and sewerage disposal for each class of property are set out at www.southeastwater.com.au.
- Updates of rates and other charges will only be provided for up to six months from the date of this statement.
- If this property has recently been subdivided from a "parent" title, there may be service or other charges owing on the "parent" which will be charged to this property, once sold, that do not appear on this statement. You must contact us to see if there are any such charges as they may be charged to this property on sale and should therefore be adjusted with the owner of the parent title beforehand.

AUTHORISED OFFICER:



LARA SALEMBIER
GENERAL MANAGER
CUSTOMER EXPERIENCE

South East Water
Information Statement Applications
PO Box 2268, Seaford, VIC 3198

- If the property is sold, the vendor is liable to pay all fees incurred in relation to the property until the vendor gives South East Water a Notice of Disposition of Land required by the Water (General) Regulations 2021, please include the Reference Number set out above in that Notice.
- Fees relating to the property may change from year-to-year in accordance with the Essential Service Commission's Price Determination for South East Water.
- Every fee referred to above is a charge against the property and will be recovered from a purchaser of the property if it is not paid by the vendor.
- Information about when and how outstanding fees may be paid, collected and recovered is set out in the Essential Services Commission's Customer Service Code, Urban Water Businesses.
- If this Statement only sets out rates and fees levied by Parks Victoria and Melbourne Water, the property may not be connected to South East Water's works. To find out whether the property is, or could be connected upon payment of the relevant charges, or whether it is separately metered, telephone 131 694.
- For a new connection to our water or sewer services, fees / charges will be levied.

2. Encumbrance Summary

Where available, the location of sewers is shown on the attached plan. Please ensure where manholes appear, that they remain accessible at all times "DO NOT COVER". Where driveways/paving is proposed to be constructed over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset, the owner will be responsible for all costs associated with any demolition and or re-instatement works, necessary to allow maintenance and or repair of the asset effected. Where changes to the surface levels requires maintenance shafts/holes to be altered, all works must be carried out by South East Water approved contractors only. For information call 131694. For all other works, prior consent is required from south East Water for any construction over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset.

Information available at Melbourne Water indicates that this property is not subject to flooding from Melbourne Water's drainage system, based on a flood level that has a probability of occurrence of 1% in any one year.

ENCUMBRANCE ENQUIRY EMAIL infostatements@sew.com.au

If no plan is attached to this Statement, South East Water is not aware of any works belonging to South East Water being present on the property.

If a plan is attached to this Statement, it indicates the nature of works belonging to South East Water, their approximate location, and the approximate location of any easement relating to those works.

Important Warnings

The map base for any attached plan is not created by South East Water which cannot and does not guarantee the accuracy, adequacy or completeness of any information in the plan, especially the exact location of any of South East Water's works, which may have changes since the attached plan was prepared. Their location should therefore be proven by hand before any works are commenced on the land.

Unless South East Water's prior written approval is obtained, it is an offence to cause any structure to be built or any filling to be placed on a South East Water easement or within 1 metre laterally of any of its works or to permit any structure to be built above or below any such area.

AUTHORISED OFFICER:

A handwritten signature in black ink, appearing to read "Lara Salembier".

LARA SALEMBIER
GENERAL MANAGER
CUSTOMER EXPERIENCE

South East Water
Information Statement Applications
PO Box 2268, Seaford, VIC 3198

Any work that requires any South East Water manhole or maintenance shaft to be altered may only be done by a contractor approved by South East Water at the property owner's cost.

If the owner builds or places filling in contravention of that requirement, the owner will be required to pay the cost of any demolition or re-instatement of work that South East Water considers necessary, in order to maintain, repair or replace its asset.

This Statement does not include any information about current or outstanding consent issued for plumbing works on at the property.

3. Disclaimer

This Statement does not contain all the information about the property that a prospective purchaser may wish to know. Accordingly, appropriate enquiries should be made of other sources and information.

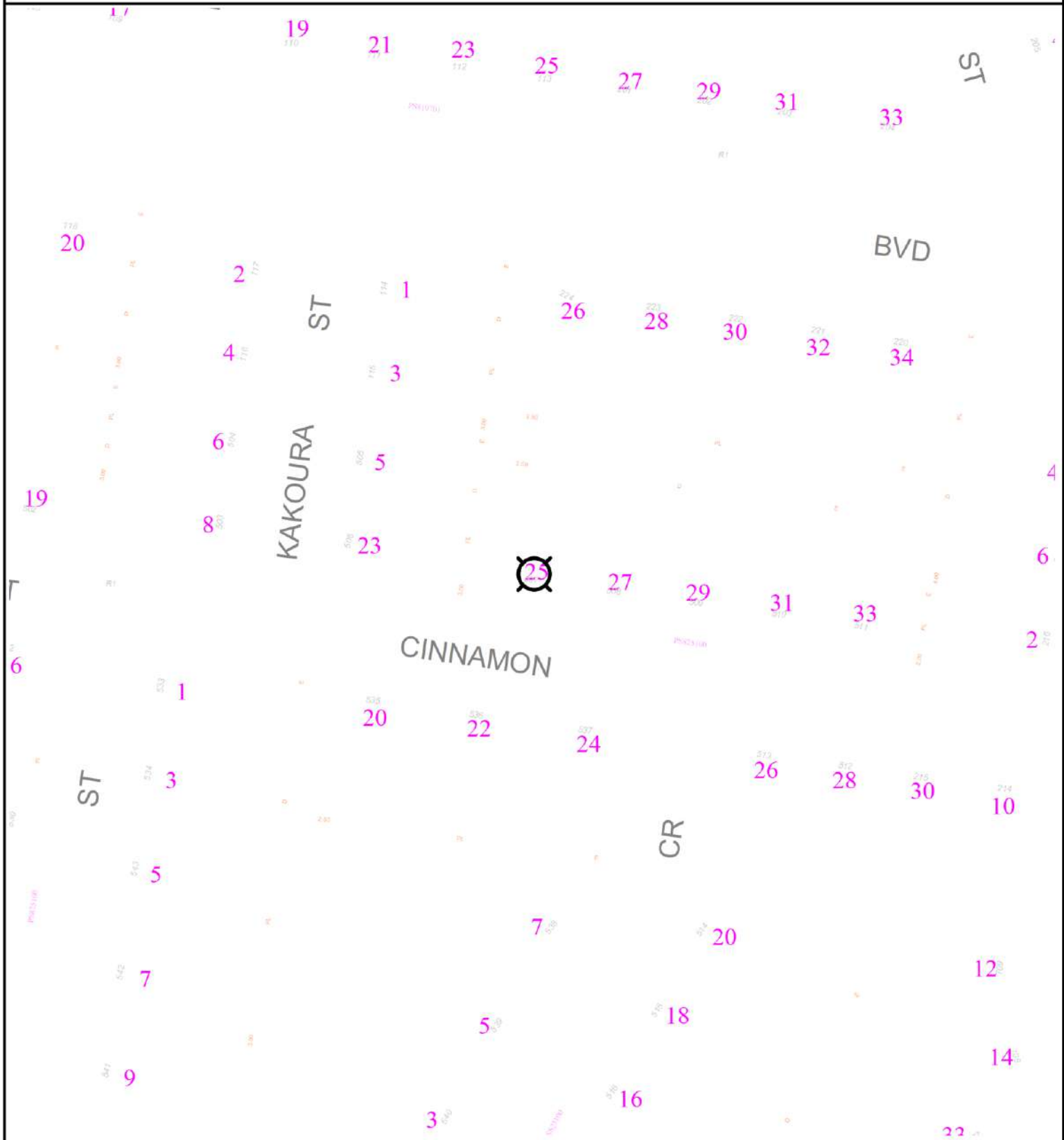
South East Water has prepared the information in this Statement with due care and diligence. It cannot and does not accept liability for any loss or damage arising from reliance on the information given, beyond the extent set out in section 155 of the Water Act 1989 and sections 18 and 29 of the Australian Consumer Law.

AUTHORISED OFFICER:

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LARA SALEMBIER
GENERAL MANAGER
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WARNING: This plan is issued solely for the purpose of assisting you in identifying South East Water's and Melbourne Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations. Abandoned and currently unused assets are shown in orange.

— Title/Road Boundary		Subject Property	● Maintenance Hole	✕✕✕ Abandoned Sewer
- - - - - Proposed Title/Road		Sewer Main & Property Connections	■ Inspection Shaft	
- - - - - Easement		Direction of Flow	<1.0> Offset from Boundary	

Melbourne Water Assets		
- - - - - Sewer Main	- - - - - Underground Drain	- - - - - Natural Waterway
● Maintenance Hole	- - - - - Channel Drain	■ Underground Drain M.H.

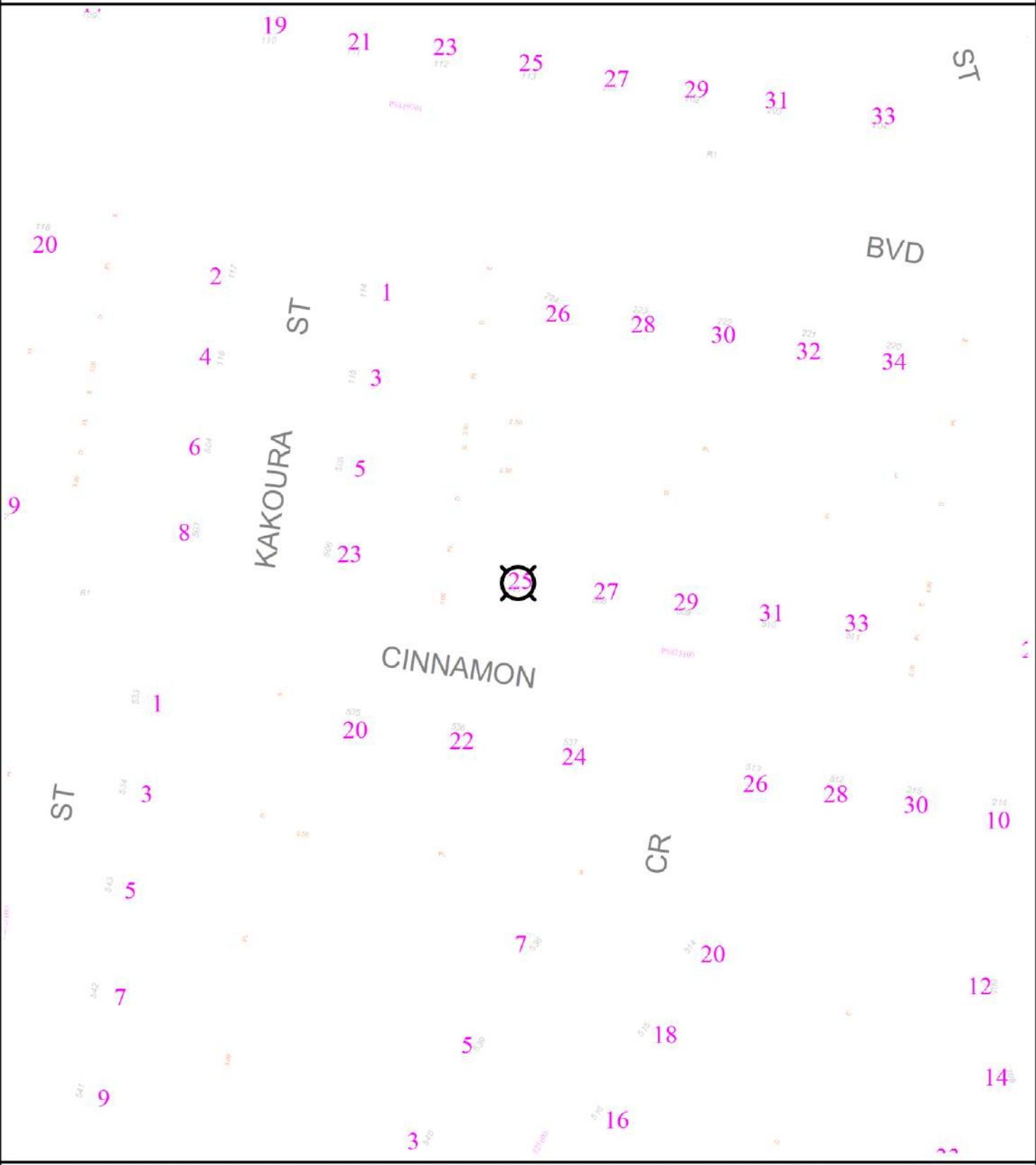


Property: Lot 507 25 CINNAMON STREET DROUIN 3818

Case Number: 52066725

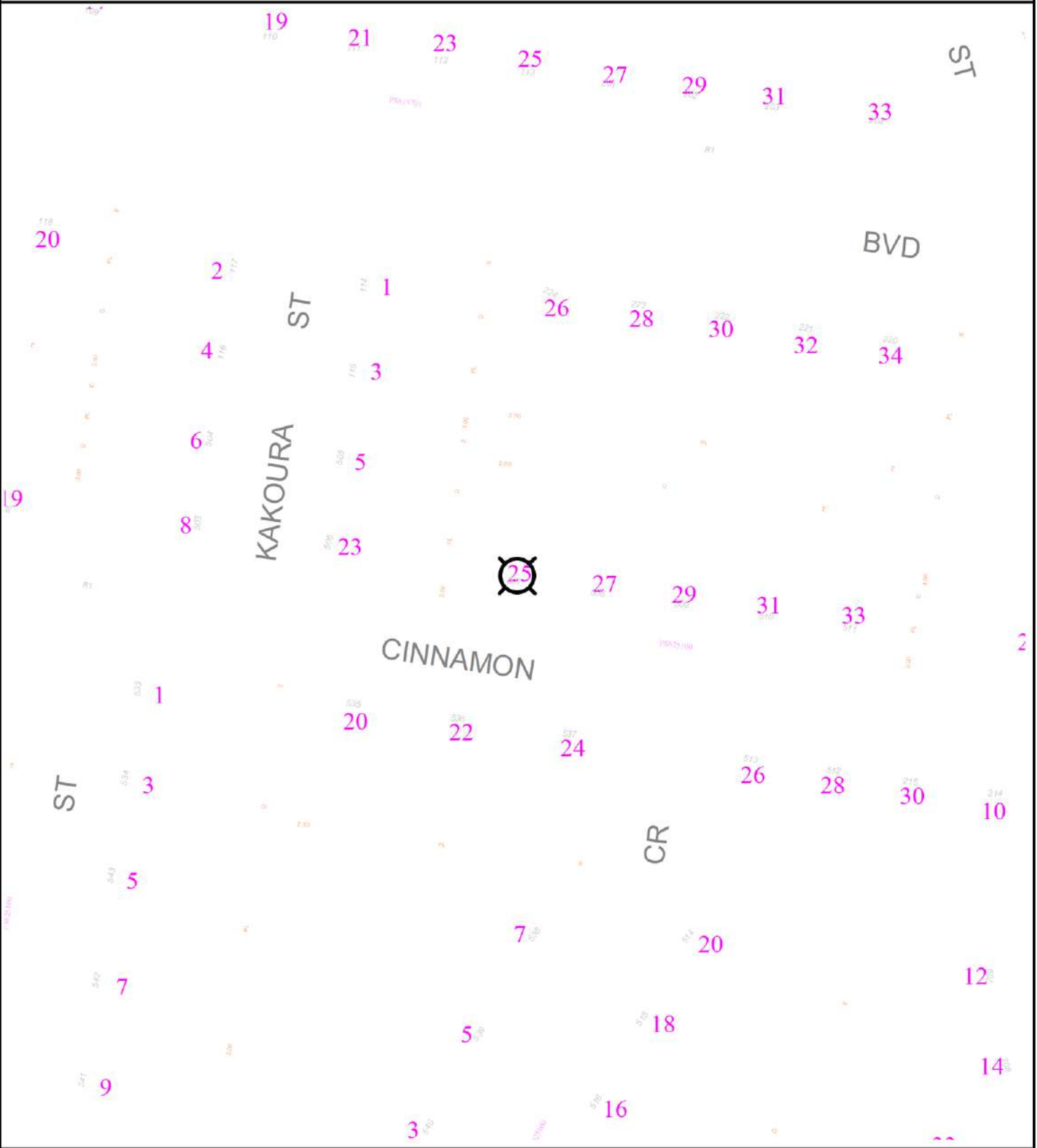


Date: 04MAY2026



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LEGEND			
	Title/Road Boundary		Subject Property
	Proposed Title/Road		Water Main Valve
	Easement		Water Main & Services
			Hydrant
			Fireplug/Washout
			~ 1.0 Offset from Boundary



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	Title/Road Boundary		Subject Property		Hydrant
	Proposed Title/Road		Recycled Water Main Valve		Fireplug/Washout
	Easement		Recycled Water Main & Services		Offset from Boundary